

DAUPHIN COUNTY SUBDIVISION/LAND DEVELOPMENT REVIEW REPORT

Municipality	West Hanover Township		Surveyor	Melham Associates, PC		Engineer	Rettew		
Plat Title	449 North Fairville Avenue								
Zoning District	I: Interchange Zoning District			Proposed Land Use		Outdoor Storage			
Plat Status:	Preliminary		Plat Type:	Subdivision		Regulations:	County		
	Final			Land Development			☒ Municipal		
	☒ P/F			☒ Combined			☒ Zoning		
	Minor						☒ S&LD		
# of Lots	2	# of New Lots	1	# of DUs		Acreage Subdivided/ Developed	18.84	Total Acreage	18.84
Date Received	09/19/2024		Staff Review	10/1/2024		Official County Review	10/1/2024		
Reviewed by	BW		Checked by			Parcel No:	68-020-008-000-0000		

Project Description: Construct an outdoor storage area with associated office and workshop space

- *When applicable, streets, sewer, water, storm drainage, and other infrastructure elements to be verified as adequate by municipal staff/engineer. Any improvement guarantees shall be posted prior to final plat approval.*
- *Registered PA Land Surveyor is required to certify all lot/tract boundary descriptions.*
- *When applicable, zoning compliance to be verified by Municipal Zoning Officer.*
- *Appropriate sewage module component should be processed prior to final plat approval.*
- *Final plats must be recorded within 90 days of approval.*

Review comment with cited ordinance provisions are based on municipal regulations on file with the County Planning Commission.

Comments:

1. The following certifications, signatures, and approvals (**or** approved waivers) are required prior to plan recording:
 - a. Ownership and dedicatory statements with notarization [S-LD §173-15-B-19]
2. A separate drawing titled "The original property description depicting the outline of the property from which the lot or lots are being subdivided at a minimum scale of 1"=400" [S-LD § 173-15-B-1]
3. Proposed Driveway locations depicting sight distance and clear sight triangles shall be displayed and in accordance with § 173-25L(10) [S-LD § 173-15-B-29]
4. A copy of the sewage module for land development or other documentation approved by DEP shall be provided to the Township [S-LD § 173-15-C-2]
5. A Township Road occupancy permit shall be obtained where the access road from the property abuts the Township Road (T-526) [S-LD § 173-15-C-4] – The Township Engineer shall approve the proper sight distance and ensure other safety requirements contained in this chapter have been met.
6. Certificates of agreement to provide service from all applicable utility companies (Electric, gas, etc) shall be provided if not done so already [S-LD § 273-15-C-16]
7. Monuments and Markers are required to be set in accordance with Section 173-28 of the Twp. SALDO.
8. All utilities on site of the property are required to be displayed with easements or dedicated public right-of-way. [S-LD § 173-35-A-1]

9. The landscape plan shall be prepared and certified by a landscape architect. [Z.O. § 195-403.C-6]
10. The applicant is required to submit a written computation of the required off-street parking based on the estimated parking demand for the proposed use. [**Z.O. § 195-418-D-1**]
11. All lighting used to illuminate off-street parking or loading areas shall be in accordance with § 195-415 of this chapter. [**Z.O. § 195-418-E-8-b**]
12. All landscaping related to off street parking shall be in accordance with **Section 195-418-E-9** of the West Hanover Township Zoning Ordinance.
13. Are there any proposed loading spaces on site for trucks entering and exiting the site to avoid conflict with internal traffic flow? Loading dock spaces shall be in accordance with Table 4.11 of the West Hanover Township Zoning Ordinance. [**Z.O. § 195-418-G-1-b**]

General Comments

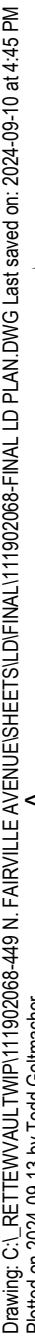
1. Have emergency services had the opportunity to review the plan and provide comments?
2. Are there any designated loading/ unloading spaces on the property to avoid conflict with other movement throughout the site?
3. The zoning data table and in accordance with the zoning ordinance 90 parking spaces are required for the proposed use. According to the site plan (Plan Sheet 4) there is a total of 125 total parking spaces proposed on site. What is the need for the additional 35 spots? Has any type of parking calculation been completed to show the additional 35 spots are necessary for the proposed use?
 - a. Could some of the parking spaces around the “workshop / Office space” or the “Oversized parking spaces” be eliminated to accommodate the trailer parking spaces to avoid being 35 spaces over the required amount?

Plan No. 24-099

Plat Specifications	Yes	No	N/A
1. Name of proposed subdivision/land development shown	✓		
2. Owner/developer name, address & telephone number shown	✓		
3. Municipality name shown	✓		
4. Tax parcel number/Deed reference shown	✓		
5. North point shown	✓		
6. Map scale shown (written/ graphic)	✓		
7. Date of plan preparation shown	✓		
8. Certification of surveyor/engineer shown	✓		
9. Location map shown	✓		
10. Total property map (bearings, distances, area, primary control point) shown	✓		
11. Names of adjacent landowners/subdivision shown	✓		
12. Lot numbers shown	✓		
13. Lot dimensions shown	✓		
14. Lot areas shown	✓		
15. Permanent monuments and markers shown	✓		
16. Building setbacks shown	✓		
17. Existing natural features shown - Wetlands	✓		
Floodplains			✓
Woodlands, streams, etc.	✓		
18. Contours at required interval shown	✓		
19. Easements shown and identified		✓	
20. Existing man-made features shown - Building (s)	✓		
Storm drainage facilities	✓		
Sewer mains	✓		
Water mains	✓		
21. Proposed man-made features shown – Building (s)	✓		
Storm drainage facilities	✓		
Sewer disposal – public (✓) on-lot ()	✓		
Water supply – public (✓) well (✓)	✓		
22. Existing streets shown - Name	✓		
R/W width	✓		
Paving width	✓		
Dedicated R/W width	✓		
23. Proposed streets shown - Name	✓		
R/W width	✓		
Paving width	✓		
Profiles	✓		
24. Curbs shown	✓		
25. Sidewalks shown	✓		
26. Existing and proposed coverage shown	✓		
27. Parking schedule provided shown		✓	
28. Traffic study completed		✓	
29. Recreation area shown/fee in-lieu-of provided	✓		
30. Erosion and sedimentation control plan shown	✓		
31. Statement of ownership, signature and notarization shown		✓	
32. Dedicatory statement shown	✓		
33. Approval blocks shown (<i>see note</i>)	✓		
34. PADOT Highway Occupancy Permit statement shown			✓
35. Consistency with Future Land Use plans - County plans	✓		
Municipal plans	✓		

VENUESHEETS\LD\FINAL\111902068-FINAL.LD PLAN.DWG Last saved on: 2024-09-10 at 4:45 PM

SECRETARY _____



SIGN LEGEND

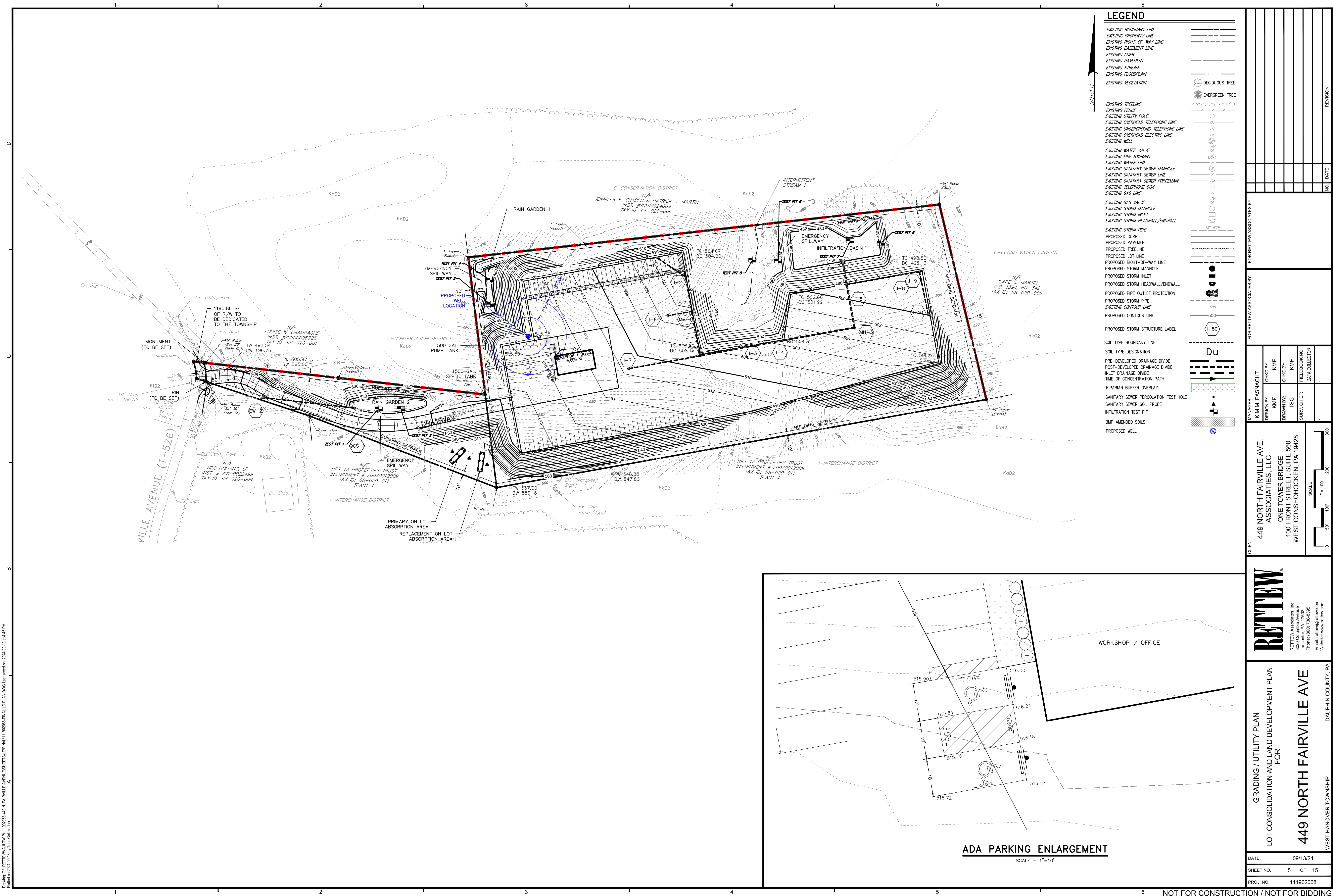
	STOP SIGN (R1-1)
	HANDICAP PARKING SIGN (R7-8)
	HANDICAP PARKING SIGN (R7-8P)

LOT CONSOLIDATION AND LAYOUT PLAN LOT CONSOLIDATION AND LAND DEVELOPMENT PLAN FOR		449 NORTH FAIRVILLE AVE		WEST HANOVER TOWNSHIP DAUPHIN COUNTY, PA	
DATE: 09/13/24		SHEET NO. 4 OF 15		PROJ. NO. 111902068	
 RETNEW Associates, Inc. 3020 Columbia Avenue Lancaster, PA 17603 Phone: (603) 736-5355 Email: retnew@retnew.com Website: www.retnew.com		CLIENT: 449 NORTH FAIRVILLE AVE. ASSOCIATES, LLC ONE TOWER BRIDGE 100 FRONT STREET, SUITE 560 WEST CONSHOHOCKEN, PA 19428		MANAGER: KIM M. FASNACHT DESIGN BY: KMF DRAWN BY: KMF SURV. CHIEF: TSG FIELDBOOK NO. DATA COLLECTOR	
SCALE 0 50' 100' 1" = 100' 300'		FOR RETNEW ASSOCIATES BY:		NO. DATE REVISION	

DRIVEWAY SIGHT DISTANCE PROPOSED DRIVEWAY				
LOT #	DIRECTION B LEFT REQUIRED	LEFT PROPOSED	DIRECTION A RIGHT REQUIRED	RIGHT PROPOSED
PROPOSED DRIVEWAY (T-526 ACCESS)	269' MIN. @ 35 MPH	500'	252' MIN. @ 35 MPH	750'

NOT FOR CONSTRUCTION / NOT FOR BIDDING

Drawn by: C. RETTEW, P.E. 11/09/2006 449 N. FAIRVILLE AVENUE SHEET 1 OF FINAL 11/09/2006 FINAL LP PLAN DWG. Last saved on: 2024-09-10 at 4:45 PM
Printed on: 2024-09-13 by: Todd Galbraith



FOR REVIEW ASSOCIATES BY:		NO.		DATE	
FOR REVIEW ASSOCIATES BY:		NO.		DATE	
MANAGER: KIM M. FASNACHT		DESIGN BY: KMF	CHKD BY: KMF	FIELDBOOK NO. DATA COLLECTOR	
CLIENT: 449 NORTH FAIRVILLE AVE. ASSOCIATES, LLC		DRAWN BY: TSG	CHKD BY: KMF	SURV. CHIEF:	
ONE TOWER BRIDGE		SCALE 0 50' 100' 200' 300'			
100 FRONT STREET, SUITE 560		WEST CONSHOHOCKEN, PA 19428			
DAUPHIN COUNTY, PA		WEST HANOVER TOWNSHIP			
GRADING / UTILITY PLAN		DATE: 09/13/24			
LOT CONSOLIDATION AND LAND DEVELOPMENT PLAN		SHEET NO. 5 OF 15			
FOR		PROJ. NO. 111902068			
449 NORTH FAIRVILLE AVE		NOT FOR CONSTRUCTION / NOT FOR BIDDING			
RETEW		RETEW Associates, Inc. 3020 Columbia Avenue Lancaster, PA 17603 Phone: (607) 736-5355 Email: retew@retew.com Website: www.retw.com			

D
C
B
A

TOWNSHIP REQUIREMENTS TABLE				
SECTION #	REQUIREMENT	AREA	REQUIRED LANDSCAPING	PROVIDED LANDSCAPING
§195-40.B.(3)(a)	A BUFFER YARD OF 50 FT SHALL BE REQUIRED BETWEEN RESIDENTIAL USES OR DISTRICTS AND NONRESIDENTIAL USES OR DISTRICTS. LEVEL 3 SCREENING SHALL BE REQUIRED WITHIN THE BUFFER YARD.	NORTHERN & EASTERN PROPERTY LINES	50 FT BUFFER YARD WITH LEVEL 3 SCREENING	50 FT BUFFER YARD WITH LEVEL 3 SCREENING
§195-403.C.(1)	NONRESIDENTIAL LAND DEVELOPMENTS IN THE I DISTRICT SHALL HAVE A MINIMUM OF 20% LANDSCAPING OF THE TOTAL GROSS LOT AREA, EXCLUDING BUILDING FLOOR AREA, IMPERVIOUS SURFACE AND ENVIRONMENTAL SENSITIVE AREAS.	TOTAL GROSS LOT AREA	MIN. 20% LANDSCAPING	56% LANDSCAPING
§195-403.D.(1)(c)	LEVEL 3 SCREEN: THE BUFFER SHALL CONTAIN SCREENING MATERIAL WHICH, AT MATURITY, PROVIDE OPACITY FROM THE GROUND TO A HEIGHT OF 30 FT. SCREEN SHALL CONSIST OF A MIN. 6 FT HIGH SOLID FENCE, EVERGREEN TREES AT MIN. 8 FT HEIGHT, DECIDUOUS TREES AT MIN. 2" CAL., SHRUBS AT MIN. 18" HEIGHT, AND HAVE A MIN. PLANTING WIDTH OF 12 FT.	NORTHERN & EASTERN PROPERTY LINES	LEVEL 3 SCREEN	LEVEL 3 SCREEN
§195-418.E.(g)(b)	A MINIMUM OF ONE SHADE TREE SHALL BE REQUIRED FOR EACH 8 PARKING SPACES	90 PARKING SPACES	12 TREES	12 TREES

D
C

CALCULATION NOTES:
THE LIGHT LOSS FACTOR SHALL BE 0.72.
ILLUMINATION VALUES SHOWN (IN FOOT-CANDLES) ARE THE PREDICTED RESULTS FOR PLANES OF THE CALCULATION EITHER HORIZONTAL, VERTICAL, OR INCLINED AS DESIGNATED IN THE CALCULATION SUMMARY.
POLE NOTES:
30" SQUARE STRAIGHT STEEL POLES SHALL BE SUPPLIED BY ENERGY LIGHT, INC. (FINISH TO BE BLACK)
LIGHTING CONTROLS AND SURGE PROTECTION: ALL NEW FIXTURES ARE TO BE EQUIPPED WITH DIMONOFF RME-XBP PHOTOCELLS AND ABLE POWER PRODUCTS RWL-S SURGE DEVICE. FIXTURES MUST BE EQUIPPED WITH ALL-MODE PROTECTION (L-N, L-G, N-G). SURGE PROTECTION INTEGRAL TO THE PHOTOCONTROL SHOULD HAVE 3 MODES OF PROTECTION, LINE-TO-NEUTRAL, LINE-TO-GROUND AND NEUTRAL-TO-GROUND. THE MINIMUM SURGE PROTECTION SPECIFICATIONS SHOULD BE 10KA IN, 25KA IMAX AND 20KV UOC.
GEN3 GATEWAY TO CONTROL ALL SITE LIGHTING FIXTURES (DIMONOFF GEN3 GATEWAY).
FOR PRICING AND COMMISSIONING, PLEASE CONTACT INDEPENDENCE LIGHTING:
KENT LAZOR
PHONE: 610-363-5271
EMAIL: KLAZOR@COMCAST.NET

Drawn by: CA, RETIEW ASSOCIATES, INC. 11/03/2024 449 N. FAIRVILLE AVENUE SHEET 11/03/2024 FINAL LP PLAN DWG last saved on: 2024-05-13 at 4:45 PM
Revision on: 2024-05-13 by: Todd Gahmberger

Luminaire Schedule									
Symbol	Qty	Label	[MANUFAC]	Description	Arrangement	LLD	LDD	LLF	BUG Rating
	1	Type S5 150	Leotek Electronics USA LLC	AR13-48N-MV-WW-5-BK-190-PCR7-CR/RWL-S/RME-XBP	SINGLE	0.900	0.800	0.720	B4-U0-G2
	6	Type S4 52 WM	Leotek Electronics USA LLC	AR13-48N-MV-WW-4-BK-080-PCR7-CR-WW/RWL-S/RME-XBP	SINGLE	0.900	0.800	0.720	B2-U0-G2
	19	Type S4 150	Leotek Electronics USA LLC	AR13-48N-MV-WW-4-BK-190-PCR7-CR/RWL-S/RME-XBP	SINGLE	0.900	0.800	0.720	B3-U0-G3
	5	Type S2 150	Leotek Electronics USA LLC	AR13-48N-MV-WW-2-BK-190-PCR7-CR/RWL-S/RME-XBP	SINGLE	0.900	0.800	0.720	B3-U0-G3
Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	LVRatio	Grid Z
Driveway	Illuminance	Fc	1.53	3.8	0.3	5.10	12.67	N.A.	0
Paved Areas	Illuminance	Fc	0.50	3.7	0.0	N.A.	N.A.	N.A.	0
Workshop Parking Lot	Illuminance	Fc	1.00	2.6	0.3	3.33	8.67	N.A.	0

LIGHTING PLAN
SCALE - 1"=100'

THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURERS. ANY SUBSTITUTION REQUESTS MUST BE SUBMITTED 15 DAYS PRIOR TO THE BID AND MUST BE ACCOMPANIED BY A HORIZONTAL, PHOTOMETRIC STUDY DEMONSTRATING THAT THE FIXTURES IN QUESTION WILL MEET OR EXCEED THE DESIGN INTENT OF THIS PLAN. ALL EXTERIOR LIGHTING PLANS SHALL BE SUBMITTED 15 DAYS PRIOR TO THE BID TO THE LOCAL LIGHTING AUTHORITY TO DETERMINE IF ALL OF THE LOCAL LIGHTING REQUIREMENTS HAVE BEEN MET AND APPROVED BY THE LOCAL AUTHORITY.

INSTALLATION NOTES:
1.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD VERIFICATION OF ALL EXISTING UNDERGROUND STRUCTURES AND UTILITIES, SUCH AS WATER MAINS, SANITARY AND STORM SEWERS, TELEPHONE AND ELECTRIC CONDUITS, AND GAS LINES, ETC. AND ABOVE GROUND UTILITIES WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION OPERATIONS.
2.) DIMENSIONS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL ELEVATIONS, INVERTS, AND DIMENSIONS IN THE FIELD PRIOR TO THE COMMENCEMENT OF WORK.
3.) THE PENNSYLVANIA ONE CALL NUMBER IS 1-800-242-1776. THE CONTRACTOR IS REQUIRED TO SUBMIT VERIFICATION TO THE MUNICIPALITY THAT A ONE "ONE-CALL" HAS BEEN PLACED PRIOR TO THE START OF DEMOLITION WORK.
4.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS FROM THE MUNICIPALITY RELATIVE TO THE PROPOSED PROJECT.
5.) THE CONTRACTOR SHALL REPAIR ALL UTILITY TRENCHING WORK LOCATED WITHIN EXISTING PAVED STREETS.
6.) THE CONTRACTOR SHALL COMPLY WITH ALL CITY, STATE, AND FEDERAL REGULATIONS IN EFFECT AT THE TIME OF CONSTRUCTION.
7.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL.
8.) THE CONTRACTOR SHALL REMOVE ALL TEMPORARY FENCING, GATES, COVERED PEDESTRIAN WALKWAYS, TRAFFIC BARRIERS, AND SIGNAGE AT THE COMPLETION OF THE PROJECT. ALL AREAS DISTURBED AS A RESULT OF THE INSTALLATION OF THESE TEMPORARY CONTROLS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
9.) THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF SHOWN IN THE LUMINAIRE SCHEDULE.
10.) THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED.
11.) ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC).
12.) THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.

LANDSCAPE PLAN
SCALE - 1"=100'

LEGEND

EXISTING BOUNDARY LINE	---
EXISTING PROPERTY LINE	---
EXISTING RIGHT-OF-WAY LINE	---
EXISTING EASEMENT LINE	---
EXISTING CURB	---
EXISTING PAVEMENT	---
EXISTING STREAM	---
EXISTING FLOODPLAIN	---
EXISTING VEGETATION	---
DECIDUOUS TREE	---
EVERGREEN TREE	---
EXISTING TREE LINE	---
EXISTING FENCE	---
EXISTING UTILITY POLE	---
EXISTING OVERHEAD TELEPHONE LINE	---
EXISTING UNDERGROUND TELEPHONE LINE	---
EXISTING OVERHEAD ELECTRIC LINE	---
EXISTING WELL	---
EXISTING WATER VALVE	---
EXISTING FIRE HYDRANT	---
EXISTING WATER LINE	---
EXISTING SANITARY SEWER MANHOLE	---
EXISTING SANITARY SEWER LINE	---
EXISTING SANITARY SEWER FORCE MAIN	---
EXISTING TELEPHONE BOX	---
EXISTING GAS LINE	---
EXISTING STORM MANHOLE	---
EXISTING STORM INLET	---
EXISTING STORM HEADWALL/ENDWALL	---
EXISTING STORM PIPE	---
PROPOSED CURB	---
PROPOSED PAVEMENT	---
PROPOSED TREE LINE	---
PROPOSED LOT LINE	---
PROPOSED RIGHT-OF-WAY LINE	---
PROPOSED FIRE HYDRANT	---
PROPOSED WATER VALVE	---
PROPOSED WATER LINE	---
PROPOSED WATER LATERAL	---
PROPOSED SANITARY SEWER MANHOLE	---
PROPOSED SANITARY SEWER LINE	---
PROPOSED SANITARY SEWER LATERAL	---
PROPOSED STORM MANHOLE	---
PROPOSED STORM INLET	---
PROPOSED STORM HEADWALL/ENDWALL	---
PROPOSED PIPE OUTLET PROTECTION	---
PROPOSED STORM PIPE	---
PROPOSED EVERGREEN TREE	---
PROPOSED DECIDUOUS TREE	---
PROPOSED SHRUB	---
LANDSCAPING TAG	---
PROPOSED POLE LIGHT	---
PROPOSED LIGHTING FOOT CANDLE TICK	---
PROPOSED CLEAR SIGHT TRIANGLE	---
RIPARIAN BUFFER OVERLAY	---
BMP AMENDED SOILS	---
PROPOSED WELL	---

FOR REVIEW ASSOCIATES BY:		NO. DATE	
FOR REVIEW ASSOCIATES BY:		NO. DATE	
MANAGER: KIM M. FASNAUGHT		NO. DATE	
DESIGN BY: KMF	KMF	CHECK BY: KMF	TSG
DRAWN BY: KMF	TSG	FIELDBOOK NO.	DATA COLLECTOR
SURV. CHIEF:		NO. DATE	
CLIENT: 449 NORTH FAIRVILLE AVE. ASSOCIATES, LLC		NO. DATE	
ONE TOWER BRIDGE		NO. DATE	
100 FRONT STREET, SUITE 560		NO. DATE	
WEST CONSHOHOCKEN, PA 19428		NO. DATE	
SCALE: 1"=100'		NO. DATE	
LANDSCAPE & LIGHTING PLAN		NO. DATE	
LOT CONSOLIDATION AND LAND DEVELOPMENT PLAN		NO. DATE	
FOR		NO. DATE	
449 NORTH FAIRVILLE AVE		NO. DATE	
DAUPHIN COUNTY, PA		NO. DATE	
WEST HANOVER TOWNSHIP		NO. DATE	
DATE: 09/13/24		NO. DATE	
SHEET NO. 7 OF 15		NO. DATE	
PROJ. NO. 111902068		NO. DATE	

SHADE TREE PLANT SCHEDULE				
SYM. KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE/CONDITIONS
AS	8	Acer saccharum	Sugar Maple	MIN 3" CAL. B&B
BN	5	Betula nigra	River Birch	MIN 3" CAL. B&B
LS	4	Liquidambar styraciflua	Fruitless Sweetgum	MIN 3" CAL. B&B
LT	5	Liriodendron tulipifera	Tulip Tree	MIN 3" CAL. B&B
PO	5	Platanus occidentalis	American Sycamore	MIN 3" CAL. B&B
QA	5	Quercus alba	White Oak	MIN 3" CAL. B&B
QR	7	Quercus rubra	Northern Red Oak	MIN 3" CAL. B&B
EVERGREEN TREE PLANT SCHEDULE				
SYM. KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE/CONDITIONS
JV	51	Juniperus virginiana	Eastern Redcedar	MIN 8' HT B&B
PA	44	Picea abies	Norway Spruce	MIN 8' HT B&B
PS	42	Pinus strobus	White Pine	MIN 8' HT B&B
SHRUB PLANT SCHEDULE				
SYM. KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE/CONDITIONS
CS	13	Cornus sericea	Red Twig Dogwood	MIN 3' GAL. CONT.: MIN 2' HT, 6" O.C.
HQ	15	Hydrangea quercifolia	Oakleaf Hydrangea	MIN 3' GAL. CONT.: MIN 2' HT, 6" O.C.
IG	11	Ilex glabra 'Compacta'	Compact Inkberry Holly	MIN 3' GAL. CONT.: MIN 2' HT, 3" O.C.
RG	15	Rhododendron 'Glacier'	Glacier Azalea	MIN 3' GAL. CONT.: MIN 2' HT, 6" O.C.
VN	13	Viburnum dentatum	Southern Arrowwood	MIN 3' GAL. CONT.: MIN 2' HT, 6" O.C.