

No:24-055

DAUPHIN COUNTY SUBDIVISION/LAND DEVELOPMENT REVIEW REPORT

MunicipalityLower Paxton Township

SurveyorBurget & Associates

Engineer/RLAMellott Engineering

Plat TitleCider Press Station

Zoning DistrictTND Overlay (R-1 underlying)

Proposed Land UseResidential

Plat Status:

Preliminary

Final

X P/F

Minor

Plat Type:

Subdivision

Land Development

X Combined

Regulations:

County

X Municipal

X Zoning

X S&LD

Existing # of Lots1

Proposed # of Lots45

Proposed # of New DUs110

Acreage of New Lots27.7

Total Acres27.7

Date Received6/11/2024

Staff Review7/1/2024

Official County Review7/1/2024

Reviewed byAWB

Checked by

Parcel ID:35-066-002

When applicable, streets, sewer, water, storm drainage, and other infrastructure elements to be verified as adequate by municipal staff/engineer. Any improvement guarantees shall be posted prior to final plat approval.

Registered PA Land Surveyor is required to certify all lot/tract boundary descriptions.

When applicable, zoning compliance to be verified by Municipal Zoning Officer.

Appropriate sewage module component should be processed prior to final plat approval.

Final plats must be recorded within 90 days of approval.

Review comment with cited ordinance provisions are based on municipal regulations on file with the County Planning Commission.

Purpose: Proposed residential community of 37 single family detached and 73 single family attached units

Comments

1. Include table showing each landscape requirement, including any relevant requirements for buffer yards, stormwater basin, parking lot landscaping or TND-specific provisions, and how it is being satisfied on the plan. (Sections 180-515, 203-804, & 203-314.H)

2. Ensure no garage is located with a smaller setback from the front lot line along a street than the living quarters of the dwelling. (Section 203-314.D.3)

3. Show evidence of coordination with SRTA/Capital Area Transit. (Section 203-314.D.11)

4. Clarify ownership of attached dwelling units and lots.

5. Show consistency with Central Commons requirements. (Section 203-314.F.2)

6. Show consistency with usable outdoor space requirements for each dwelling unit. (Section 203-314.G.6.g)

7. Show metes and bounds for any easements to be conveyed to the Township. (Section 180-504.J)

8. Show Primary Control Point. (Section 180-404.C.3)

9. Address requirement for approved Traffic Impact Study. (Section 180-404.E.7)

10. All signatures, certifications, dedications, and notarizations required by the subdivision and land development ordinance should be in place before final approval. (Section 180-404.E)

Plan No.24-055	Plat Specifications	Yes	No	N/A
	1. Name of proposed subdivision/land development shown	✓		
	2. Owner/developer name, address & telephone number shown	✓		
	3. Municipality name shown	✓		
	4. Tax parcel number/Deed reference shown/Instrument #	✓		
	5. North point shown	✓		
	6. Map scale shown (written/graphic)	✓		
	7. Date of plan preparation shown	✓		
	8. Certification of surveyor/engineer/landscape architect shown (need sign/seal)		✓	
	9. Location map shown	✓		
	10. Total property map (bearings, distances, area, primary control point) shown		✓	
	11. Names of adjacent landowners/subdivision shown	✓		
	12. Lot numbers shown	✓		
	13. Lot dimensions shown (as surveyed)	✓		
	14. Lot areas shown	✓		
	15. Permanent monuments and markers shown	✓		
	16. Building setbacks shown	✓		
	17. Existing natural features shown - Wetlands	✓		
	Floodplains	✓		
	Woodlands, streams, etc.	✓		
	18. Contours at required interval shown	✓		
	19. Easements shown and identified		✓	
	20. Existing man-made features shown - Building (s)	✓		
	Storm drainage facilities			✓
	Sewer mains	✓		
	Water mains	✓		
	21. Proposed man-made features shown – Building (s)	✓		
	Storm drainage facilities	✓		
	Sewer disposal – public(✓) on-lot()	✓		
	Water supply – public (✓) well ()	✓		
	22. Existing streets shown - Name	✓		
	R/W width	✓		
	Paving width	✓		
	Dedicated R/W width	✓		
	23. Proposed streets shown - Name	✓		
	R/W width	✓		
	Paving width	✓		
	Profiles	✓		
	24. Curbs shown	✓		
	25. Sidewalks shown	✓		
	26. Existing and proposed coverage shown	✓		
	27. Parking schedule provided shown	✓		
	28. Traffic study completed		✓	
	29. Recreation area shown/fee in-lieu-of provided	✓		
	30. Erosion and sedimentation control plan shown	✓		
	31. Statement of ownership, signature and notarization shown (need sign/notar.)		✓	
	32. Dedicatory statement shown	✓		
	33. Approval blocks shown	✓		
	34. PADOT Highway Occupancy Permit statement shown			✓
	35. Consistency with Future Land Use plans - County plans	✓		
	Municipal plans	✓		

INTENT OF PLAN

This Cider Press Station Subdivision Plan is a proposed residential community consisting of 110 total units (37 single family detached dwellings/lots & 73 single family-attached townhouse units). The design follows the Traditional Neighborhood Design Overlay criteria which includes preserving open space. The project construction is proposed as a single phase. The Master Plan for the project was approved by the Board of Supervisors on January 16, 2024; see plan sheet 3 for the Master Plan and see the Drawing Index for reference to all other specific plan sheets.

SITE DATA

TYPE OF DEVELOPMENT	Traditional Neighborhood Development Overlay
ZONING DISTRICT	R-1, Low Density Residential (Underlying original zone)
PRELIMINARY / FINAL PLAN	
TOTAL TRACT AREA	27.71 ac
AREA TO BE DEVELOPED	27.71 ac (including open space, no residual land)
REQUIRED RECREATION AREA	0 ac
PROVIDED RECREATION AREA	NA (Private open space with amenities)
AREA PROPOSED FOR OPEN SPACE	14.877 ac (53.7% of tract area)
NUMBER OF UNITS	110 Dwelling Units (37 detached & 73 townhouses)
NUMBER OF LOTS	45 Total Lots 0 Commercial Lots 37 Single family detached residential Lots 8 other lots (containing open space & townhouses)
MINIMUM LOT SIZE	5,000 S.F. (Single Family Detached Lot)
TOTAL PROPOSED IMPERVIOUS AREA	8.22 ac or 30.3%
PROPOSED WATER SUPPLY	Public
PROPOSED SEWAGE DISPOSAL	Public
LINEAR FEET OF NEW PUBLIC STREETS	1,763 L.F. (Pear Ridge/Apple Ridge Drives)
LINEAR FEET OF NEW PRIVATE LANES	1,156 L.F. (Honeycrisp/Barlett Lanes)
LINEAR FEET OF NEW STORM SEWER	to be added
TOTAL NUMBER OF INLETS	62 inlets (includes basin outlet structures)
TOTAL LINEAR FEET OF STREET WIDENING	1,105 L.F. (Cider Press Road reconstruction-widening)
TOTAL NUMBER OF STORM MANHOLES & JUNCTION BOXES	1 Manhole
TOTAL NUMBER OF ENDWALLS/END SECTIONS	9
REQUIRED COMMERCIAL AREA	0% (0 ac)
PROVIDED COMMERCIAL AREA	0% (0 ac)
REQUIRED OPEN SPACE	(5.542 ac) (20%)
PROVIDED OPEN SPACE	14.877 ac (53.7% of tract area)
REQUIRED CENTRAL COMMON AREA	NA
PROVIDED CENTRAL COMMON AREA	NA

- Impervious coverage reflected in the above table equals the coverage shown on the plan plus some additional extra impervious Coverage accounted for in the stormwater calculations.
- Street lengths reflected in the above table are based on centerline to centerline distances and to center of cul-de-sac bulbs;

USERS

COMMERCIAL:	0 Commercial Lots
SINGLE FAMILY DETACHED RESIDENTIAL:	37 Units (33.6%)
SECOND DWELLING UNIT ABOVE GARAGE:	0 Units (0%)
TWIN DWELLING UNITS:	0 Units (0%)
TOWNHOUSES	73 Units (66.4%)
TOTAL DWELLING UNITS:	110 Units

DENSITY CALCULATIONS

Total Lot Area:	27.71 acres
Lands within existing right of way:	1.34 acres
Net Lot Area:	26.37 acres
Slopes >25% (3.28 acres x 75%):	2.46 acres
Lands within 100 year floodplain (1.26 acres x 50%):	0.63 acres
Net Acreage for Density Calculation:	23.28 acres
Total Number of Units Permitted:	
R-1 District = 4 dwelling units per acre	93 units
Bonus: Add 0.5 dwelling units per acre for providing >30% open space	11 units
Bonus: Add 1 unit for each \$15,000 of 6 units recreation improvements provided beyond required improvements (\$50,000 of improvements required to offset 6 additional units)	
Total Units Permitted:	110 Units
Total Units Proposed:	110 units

LOT REQUIREMENTS

COMMERCIAL:
Minimum Lot Size: 5,000 S.F.
Proposed Minimum Lot Size: NA – there are no commercial lots proposed
Minimum Lot Width at B.S.L. 30'
Minimum Front Setback: None
Minimum Side Setback: None
Minimum Rear Setback: 30'
Maximum Building Height: 45 Feet or 3 Stories, whichever is more restrictive

SINGLE FAMILY:
Minimum Lot Size: 5,000 S.F.
Proposed Minimum Lot Size: 5,000 S.F. (Lots 4, 15, 19–21, 24, 29–33)
Minimum Lot Width at B.S.L. 40' except 50' if garage doors for two or more vehicles will face the front of the dwelling along a street.
Minimum Front Setback: 5'
Minimum Side Setback: 5'
Minimum Rear Setback: None
Maximum Building Height: 45 Feet or 3 Stories, whichever is more restrictive

TWIN DWELLING UNIT:
Minimum Lot Size: 4,500 S.F.
Proposed Minimum Lot Size: NA – there are no duplex units proposed
Minimum Lot Width at B.S.L. 30' except 40' if garage doors for two or more vehicles will face the front of the dwelling along a street
Minimum Front Setback: 5'
Minimum Side Setback: 5'
Minimum Rear Setback: None
Maximum Building Height: 45' or 3 Stories, whichever is more restrictive

TOWNHOUSE DWELLING UNIT:
Minimum Lot Size: 2,000 S.F.
Minimum Lot Width at B.S.L. 18', except 24' if garage door(s) for two or more vehicles will face onto the front of the dwelling along a public street
Maximum number of connected townhouse dwellings: 8
Minimum separation between each set of townhouses: 20'
Minimum Front Setback: 5'
Minimum Side Setback: 5' from property line although see min building separation above)
Minimum Rear Setback: None
Maximum Building Height: 45' or 3 Stories, whichever is more restrictive

GARAGE (Detached):
Minimum Side Setback: 3'
Minimum Rear Setback: 5'

PUBLIC STREET NAMES

Cider Press (Existing)
Apple Ridge Drive
Pear Ridge Drive

PRIVATE STREET NAMES

Honeycrisp Lane
Barlett Lane

PARKING AREA TABULATION (Per Preliminary Plan)

REQUIRED OFF-STREET PARKING PER TABLE 6.1
RESIDENTIAL USES: 2 PER DWELLING UNIT, EXCEPT 3 PER DWELLING UNIT FOR A SINGLE-FAMILY DETACHED DWELLINGS ON A LOT OF OVER 10,000 SQUARE FEET. OFF-STREET PARKING SPACES SHALL BE LOCATED OUTSIDE OF THE STREET RIGHT-OF-WAY.

ALL SINGLE FAMILY DETACHED DWELLING LOTS ARE <10,000 SF THEREFORE THE PARKING REQUIREMENT IS 2 SPACES PER UNIT = 220 SPACES REQUIRED (110 UNITS X 2 PER UNIT)
OFF STREET PARKING SPACES PROVIDED = 440 SPACES (ALL UNITS WILL ACCOMMODATE THE REQUIRED OFF-STREET PARKING UTILIZING INSIDE (GARAGE) & DRIVEWAY SPACES).

ADDITIONAL ON-STREET PARKING SPACES PROVIDED = 118 spaces (does not include the 8 parking spaces proposed in the public trail access parking lot.

TND REQUIREMENTS FOR UNIT TYPES

FRONT PORCH SIZE: 60% of dwellings required to have 8'W x 5'D front porch.

CORNER PORCHES: 50% of corner lots are required to have corner porches or front and side porch.

GARAGES: Up to 50% of garages may front on street.

SINGLE FAMILY DETACHED: minimum 30% of dwelling units shall be single family dwellings.

Proposed Single Family Detached: 37 Units (33.6%)
Proposed Single Family Attached: 73 Units (66.4%)

FRONTAGE: maximum of 20% of dwellings are not required to have minimum lot width directly along a street right-of-way
Single family detached lots 17 & 18, off Honeycrisp Lane, are the only lots/units that do not have frontage on a public street (1.8%)

OPEN SPACE: 20% open space required – 5.54 acres.
Proposed Open Space: 14.877 ac (53.7% of tract area), see green hatch pattern on the Master Plan and Subdivision Plan for reference to what is defined as Open Space

PRELIMINARY/FINAL SUBDIVISION PLAN

FOR

CIDER PRESS STATION

LOCATED IN

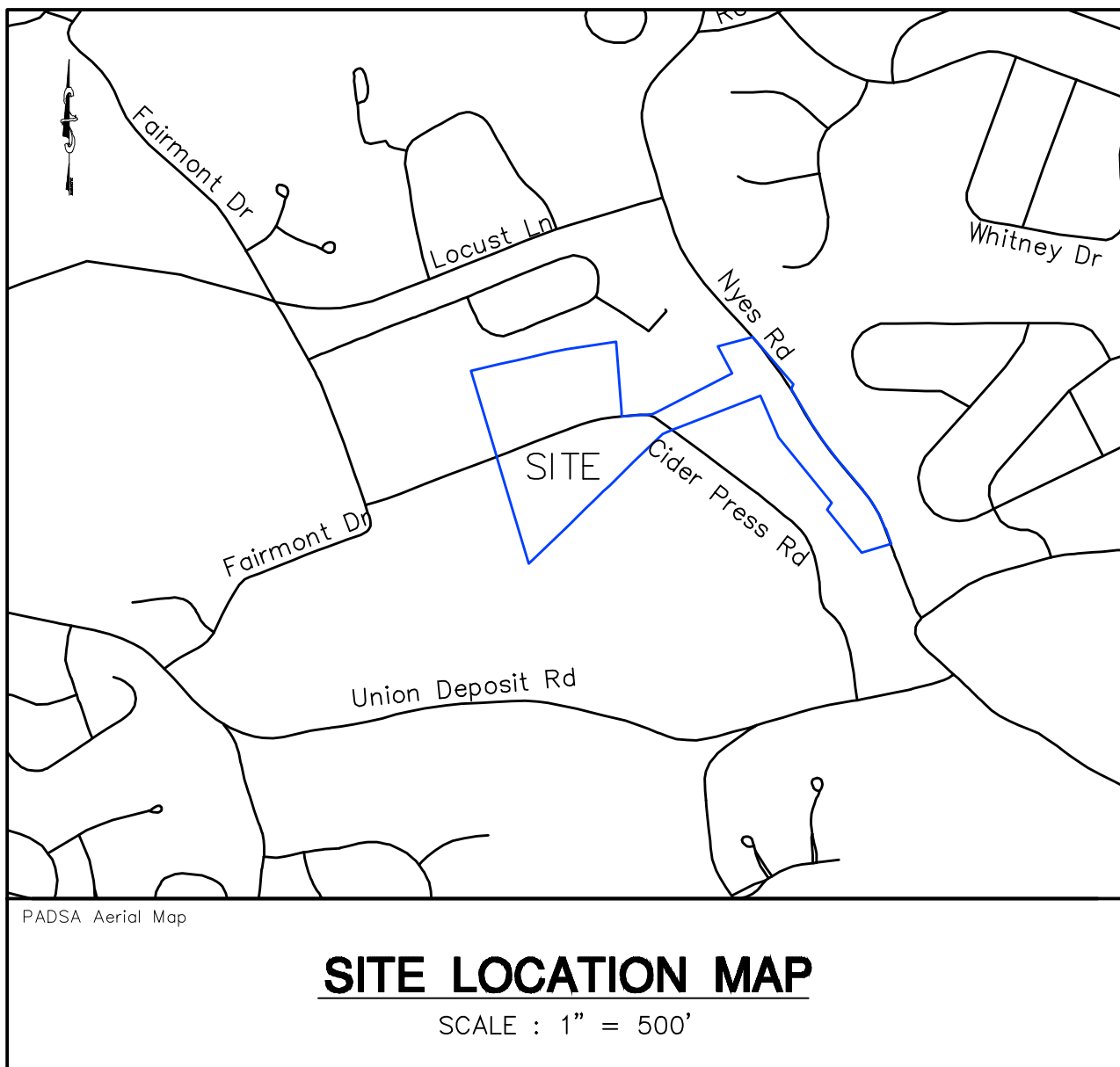
LOWER PAXTON TOWNSHIP, DAUPHIN COUNTY, PA.

DRAWING INDEX	
SHEET NO.	TITLE
1 OF 23	COVER SHEET
2 OF 23	GENERAL NOTES AND WAIVER REQUESTS
3 OF 23	MASTER PLAN
4 OF 23	EXISTING FEATURES PLAN
5-6 OF 23	FINAL SUBDIVISION PLAN
7 OF 23	GRADING AND UTILITY PLAN
8-10 OF 23	STREET AND UTILITY PROFILES PLAN
11-12 OF 23	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN (PCSM 1 and 2)
13 OF 23	LANDSCAPE AND SIGNAGE PLAN
14 OF 23	LIGHTING PLAN
15 OF 23	EASEMENTS AND BUILDING SETBACKS PLAN
16-18 OF 23	CONSTRUCTION DETAILS
19 OF 23	SANITARY SEWER CONSTRUCTION DETAILS
*20-23 OF 23	EROSION CONTROL PLAN (ES 1-3)

* Erosion Control Plan sheets to be added to the plan set after coordination with DCCD.

OWNER/DEVELOPER
Cider Press Land Company, LLC.
6257 Cider Press Road
Harrisburg, PA 17111
Contact: Jared Sawyer
717-514-9940

SITE LOCATION
Address: 6101 Cider Press Road
Harrisburg, PA 17111
Tax Parcel 35-066-002
Deed Instrument #: 20220014715



COUNTY UPI #
to be added



Before You Dig Anywhere

In . . . **PENNSYLVANIA**

STOP! Call 811
1st Free
PA Law requires 3 working days before you excavate
PA One Call System, Inc.
One Call Serial #: 2022151538
April 25, 2022

Act 287
PURSUANT TO PROVISIONS OF PENNSYLVANIA ACT 287 OF 1974, AS AMENDED BY PENNSYLVANIA ACT 181 (2006) REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

PPL Electric Utilities, Inc. Corporate
Switchboard, (800) 342-5775
1801 Brookwood Street, Harrisburg, PA 17104

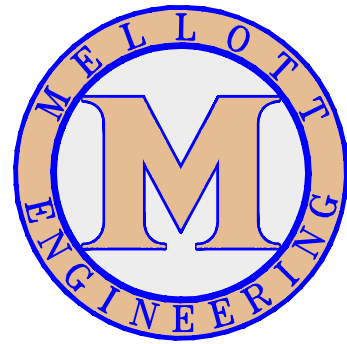
Verizon Communications Corporate
Switchboard, (800) 621-9900
Director 425 Prince Street, Harrisburg, PA 17109

Lower Paxton Township Authority
William R. Weaver, (717) 657-5600
Director 425 Prince Street, Harrisburg, PA 17109

Suez Water Pennsylvania
Administration Office, (717) 561-1103
4211 East Park Circle, Harrisburg, PA 17111

U.G.I. Corporation
General Office, (717) 234-5951
1500 Paxton Street, P.O. Box 3565,
Harrisburg, PA 17105

Comcast Cable
Frank Dink, (717) 651-1913
4601 Smith Street, Harrisburg, PA 17109



MELLOTT ENGINEERING, INC.
CIVIL ENGINEERING • LAND PLANNING & DESIGN • WATER RESOURCES
7500 DEVONSHIRE HEIGHTS ROAD • HUMMELSTOWN, PA 17036
mellotteng@comcast.net
(717)–566–6533

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF _____
ON THIS THE ____ DAY OF _____, 202__, BEFORE ME THE
UNDERSIGNED PERSONALLY APPEARED.

OWNER _____ PRINTED NAME _____ SIGNATURE _____

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY
THAT THEY ARE THE OWNER(S) OR EQUITABLE OWNER(S) OF THE
PROPERTY SHOWN ON THIS PLAN AND THAT THEY ACKNOWLEDGE
THE SAME TO BE THEIR ACT AND DEED, THAT ALL STREETS OR
PARTS THEREOF AND OTHER LANDS INTENDED TO BE OFFERED
FOR PUBLIC USE, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY
OFFERED FOR DEDICATION TO PUBLIC USE AND DESIRE THE
SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND DATE ABOVE
WRITTEN.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

THIS PLAN REVIEWED BY THE DAUPHIN COUNTY PLANNING
COMMISSION THIS ____ DAY OF _____, 20__

CHAIRMAN _____

SECRETARY _____

THIS PLAN REVIEWED BY THE LOWER PAXTON TOWNSHIP
ENGINEER THIS ____ DAY OF _____, 202__

TOWNSHIP ENGINEER _____

THIS PLAN RECOMMENDED FOR APPROVAL BY THE LOWER
PAXTON TOWNSHIP PLANNING COMMISSION THIS ____ DAY OF
OF _____, 20__

CHAIRMAN _____

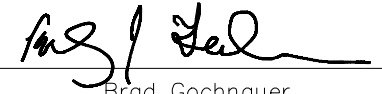
SECRETARY _____

THIS PLAN APPROVED BY THE LOWER PAXTON TOWNSHIP BOARD
OF SUPERVISORS, AND ALL CONDITIONS IMPOSED WITH RESPECT
TO SUCH APPROVAL WERE COMPLETED ON THIS ____ DAY OF
_____, 202__

CHAIRMAN _____

SECRETARY _____

I, **BRAD GOCHNAUER**, HEREBY CERTIFY THAT I HAVE CONDUCTED A
WETLAND DELINEATION STUDY IN ACCORDANCE WITH THE
REQUIREMENTS OF THIS ORDINANCE AND HAVE DETERMINED THAT
REGULATORY WETLANDS EXIST ON THE SUBJECT SITE AND THIS PLAN
ACCURATELY DEPICTS THE EXTENT OF WETLANDS.


Brad Gochnauer
Vortex Environmental, Inc.

STORMWATER MANAGEMENT NOTES:

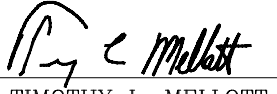
THE OPERATION AND MAINTENANCE (O&M) AGREEMENT IS PART OF THE
SWM SITE PLAN

RECORD DRAWINGS WILL BE PROVIDED FOR ALL STORMWATER
MANAGEMENT FACILITIES PRIOR TO OCCUPANCY, OR THE RELEASE OF
FINANCIAL SECURITY.

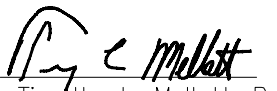
I, **JARED SAWYER**, HEREBY ACKNOWLEDGE THAT THE STORMWATER BMPs
ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR
APPROVAL BY THE TOWNSHIP.

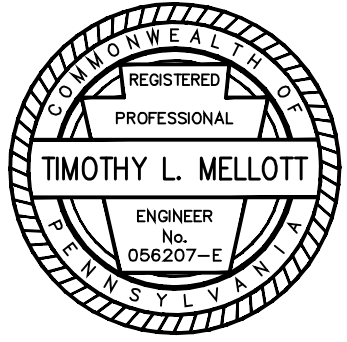
Jared Sawyer (717) 514-9940 DATE _____
EMAIL: jared@vocaltoday.com

I, **TIMOTHY L. MELLOTT**, HEREBY CERTIFY THAT THE STORMWATER
MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF
THE LOWER PAXTON TOWNSHIP'S STORMWATER MANAGEMENT ORDINANCE.


TIMOTHY L. MELLOTT, PE

I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN AND IN
COMPLIANCE WITH THE REQUIREMENTS OF THE LOWER PAXTON
TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.


Timothy L. Mellott, P.E.
Mellott Engineering, Inc.
7500 Devonshire Heights
Road
Hummelstown, PA 17036
PH: 717-566-6533
FAX: 717-427-2700



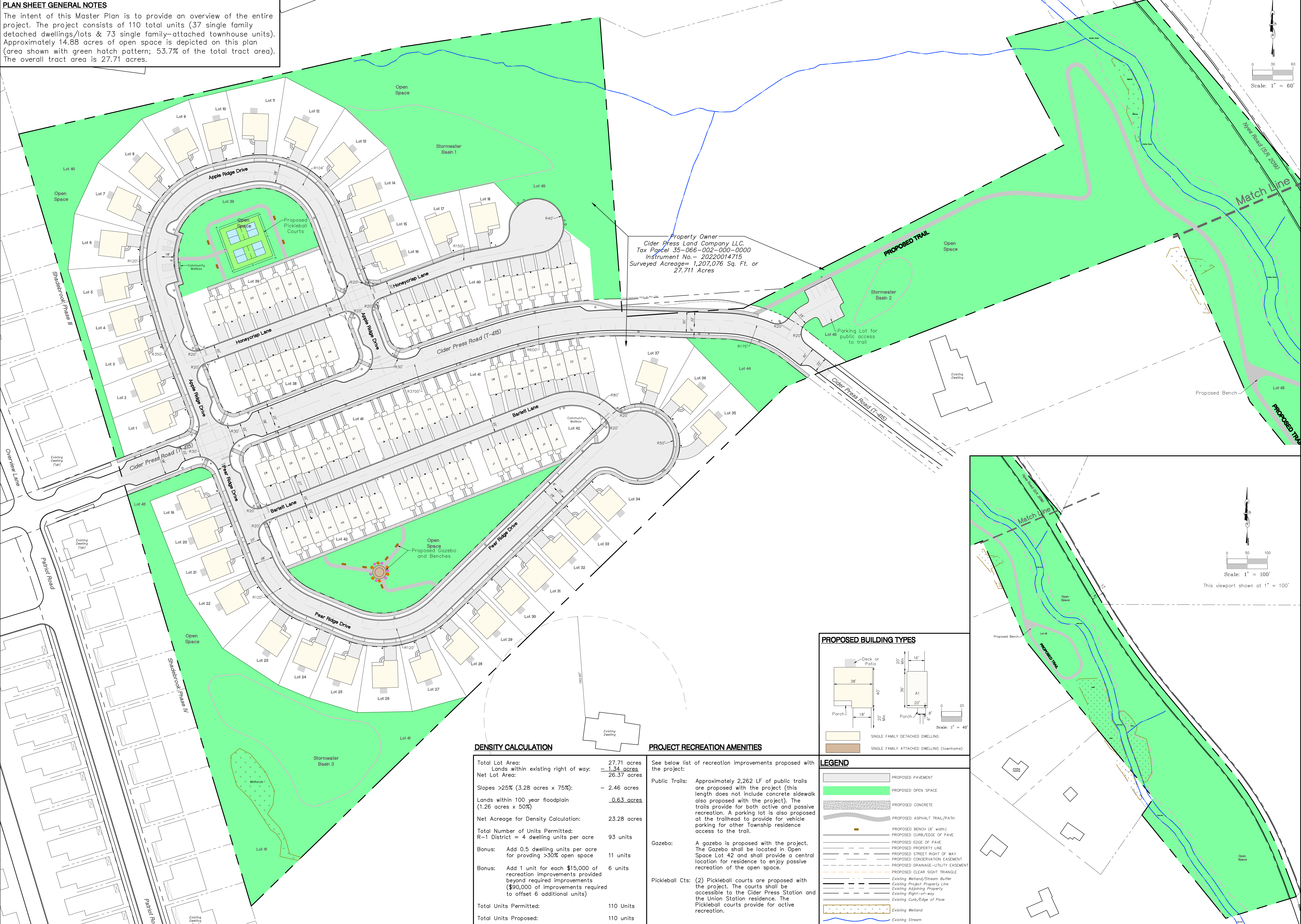
I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE
SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO
THE ACCURACY REQUIRED BY THE LOWER PAXTON TOWNSHIP
SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

Joe A. Burget, Jr. PLS
Burget & Associates, Inc.
1797 New Bloomfield Road
New Bloomfield,
Pennsylvania 17068
PH: 717-582-7011
jburget@burgettassociatesinc.com

RECORDER OF DEEDS

No.	REVISION	DATE	MELLOTT ENGINEERING, INC. Copyright © 2024	DRAWING ID	202322cov
1	Revisions relative to Master Plan update	May 6, 2024		DATE:	June 2, 2022
2				SHEET	1 of 23
3					
4					

PLAN SHEET GENERAL NOTES
The intent of this Master Plan is to provide an overview of the entire project. The project consists of 110 total units (37 single family detached dwellings/lots & 73 single family-attached townhouse units). Approximately 14.88 acres of open space is depicted on this plan (area shown with green hatch pattern; 53.7% of the total tract area). The overall tract area is 27.71 acres.



Property Owner
Cider Press Land Company LLC.
Tax Parcel 35-066-002-000-0000
Instrument No.- 20220014715
Surveyed Acreage= 1,207,076 Sq. Ft. or
27.711 Acres

DENSITY CALCULATION

Total Lot Area:	27.71 acres
Lands within existing right of way:	1.34 acres
Net Lot Area:	26.37 acres
Slopes >25% (3.28 acres x 75%):	2.46 acres
Lands within 100 year floodplain (1.26 acres x 50%):	0.63 acres
Net Acreage for Density Calculation:	23.28 acres
Total Number of Units Permitted: R-1 District = 4 dwelling units per acre	93 units
Bonus: Add 0.5 dwelling units per acre for providing >30% open space	11 units
Bonus: Add 1 unit for each \$15,000 of recreation improvements provided beyond required improvements (\$90,000 of improvements required to offset 6 additional units)	6 units
Total Units Permitted:	110 Units
Total Units Proposed:	110 units

PROJECT RECREATION AMENITIES

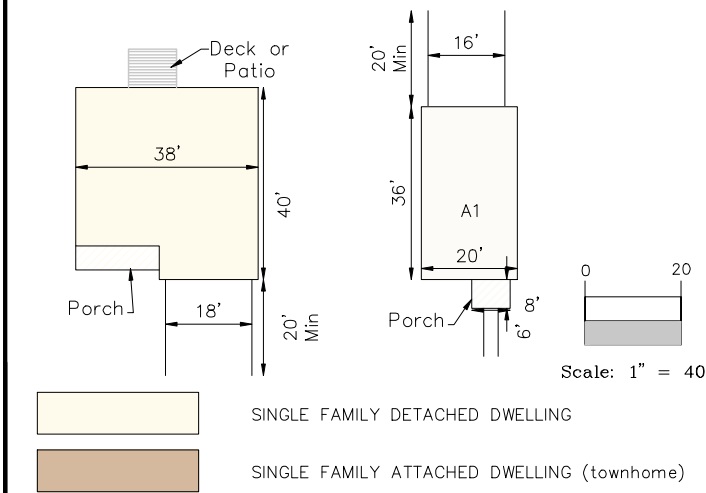
See below list of recreation improvements proposed with the project:

Public Trails: Approximately 2,262 LF of public trails are proposed with the project (this length does not include concrete sidewalk also proposed with the project). The trails provide for both active and passive recreation. A parking lot is also proposed at the trailhead to provide for vehicle parking for other Township residence access to the trail.

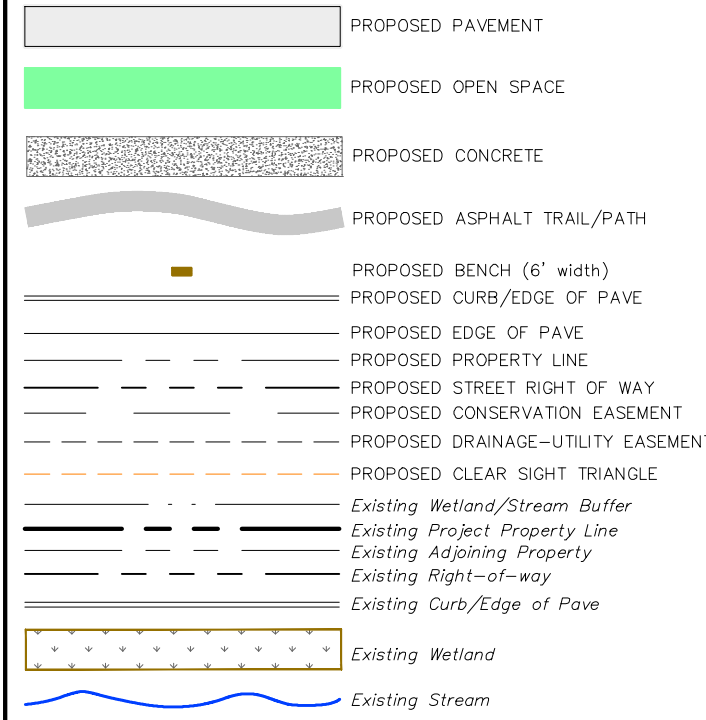
Gazebo: A gazebo is proposed with the project. The Gazebo shall be located in Open Space Lot 42 and shall provide a central location for residence to enjoy passive recreation of the open space.

Pickleball Cts: (2) Pickleball courts are proposed with the project. The courts shall be accessible to the Cider Press Station and the Union Station residence. The Pickleball courts provide for active recreation.

PROPOSED BUILDING TYPES



LEGEND



DATE
5-6-2024

REVISIONS
Revisions regarding Master Plan update

1. 2. 3. 4. 5. 6. 7. 8. 9.

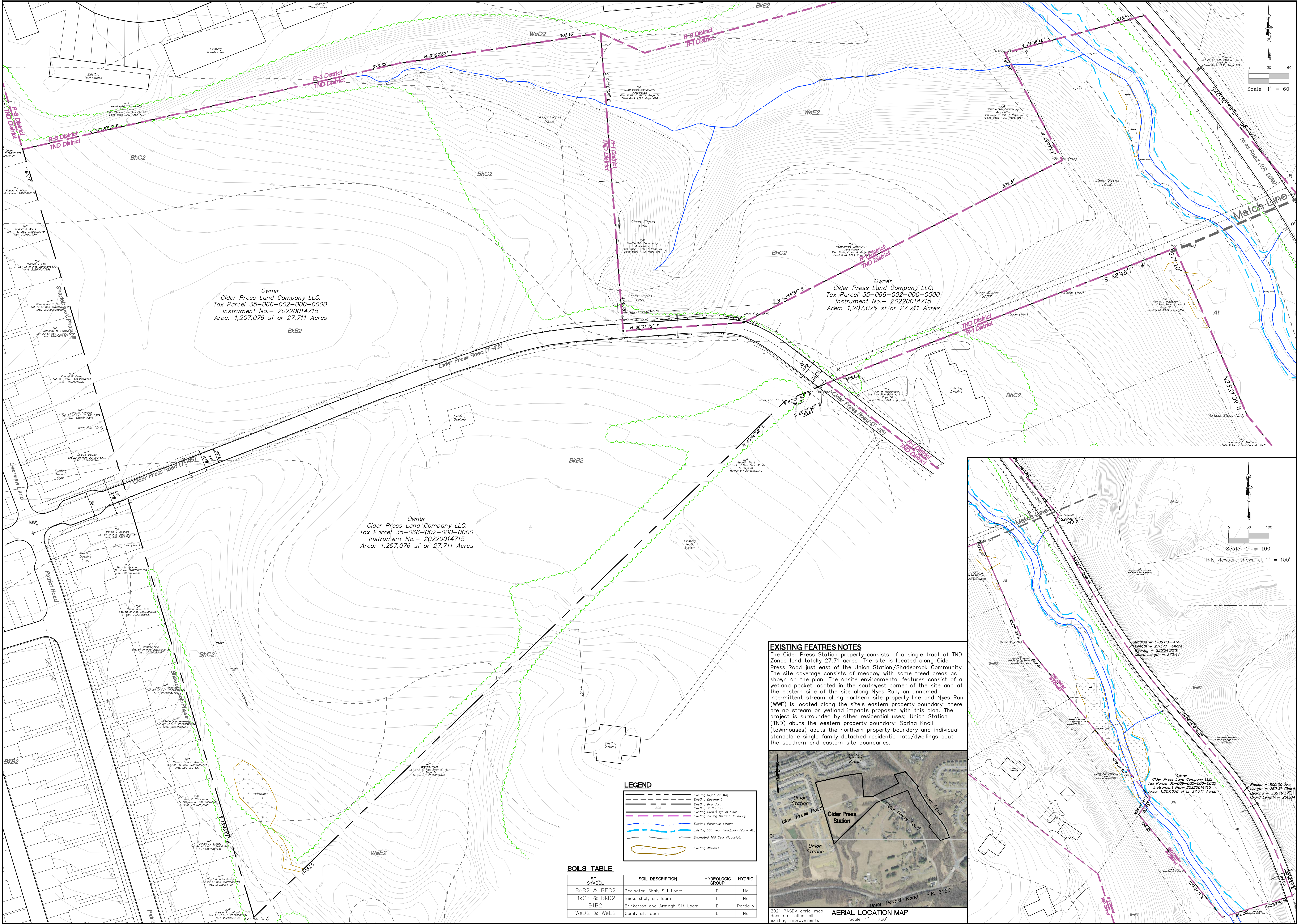
MELLOTT ENGINEERING, INC.
Civil Engineering - Land Planning & Development - Water Resources
7500 Devonshire Heights Road Harrisburg, PA 17036
mellottengr@gmail.com
717-566-6533

PA
REGISTERED PROFESSIONAL ENGINEER

MASTER PLAN
FOR
CIDER PRESS STATION
Owner/Developer: Cider Press Land Company, LLC
LOWER PAXTON TOWNSHIP DAUPHIN COUNTY PENNSYLVANIA

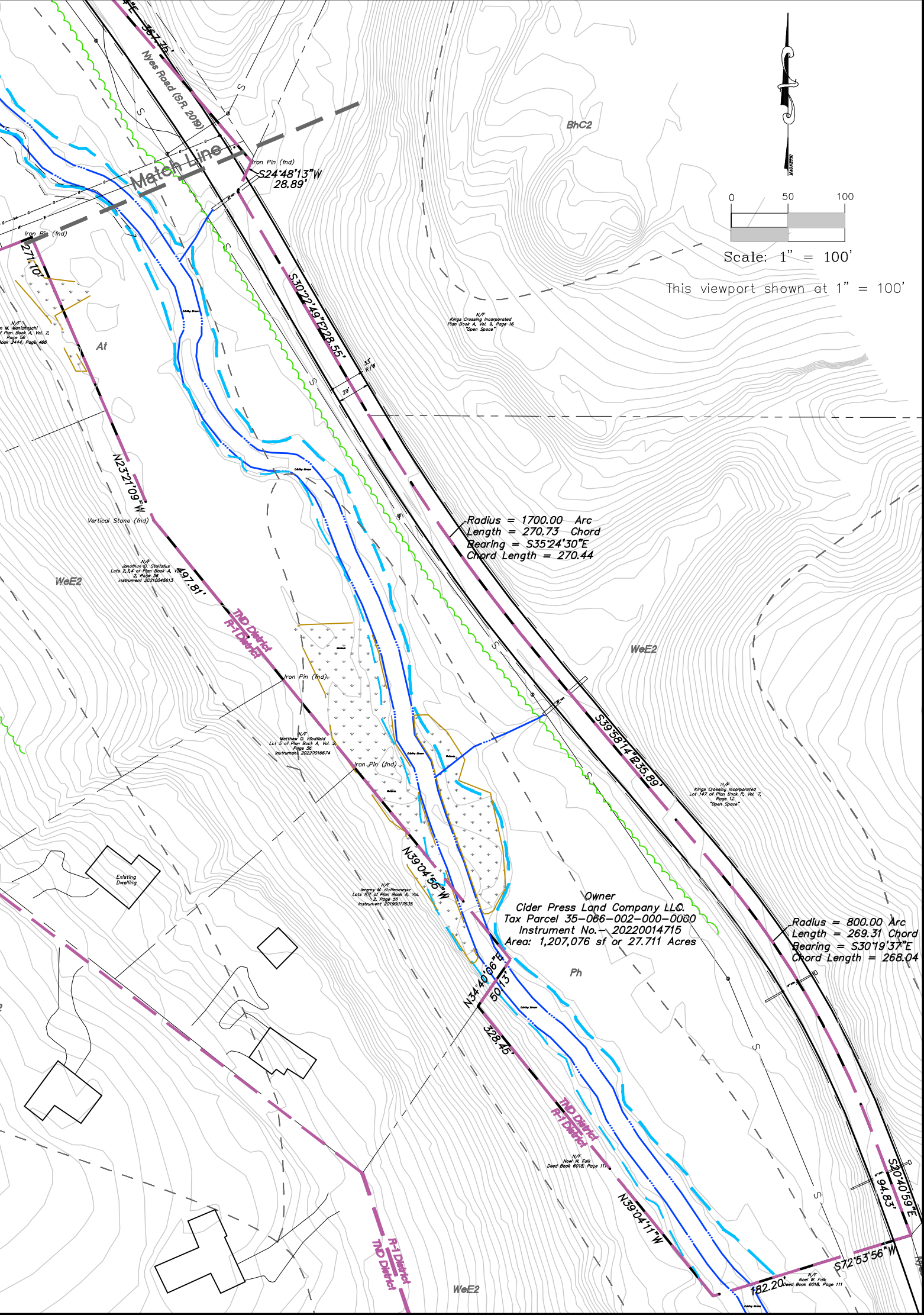
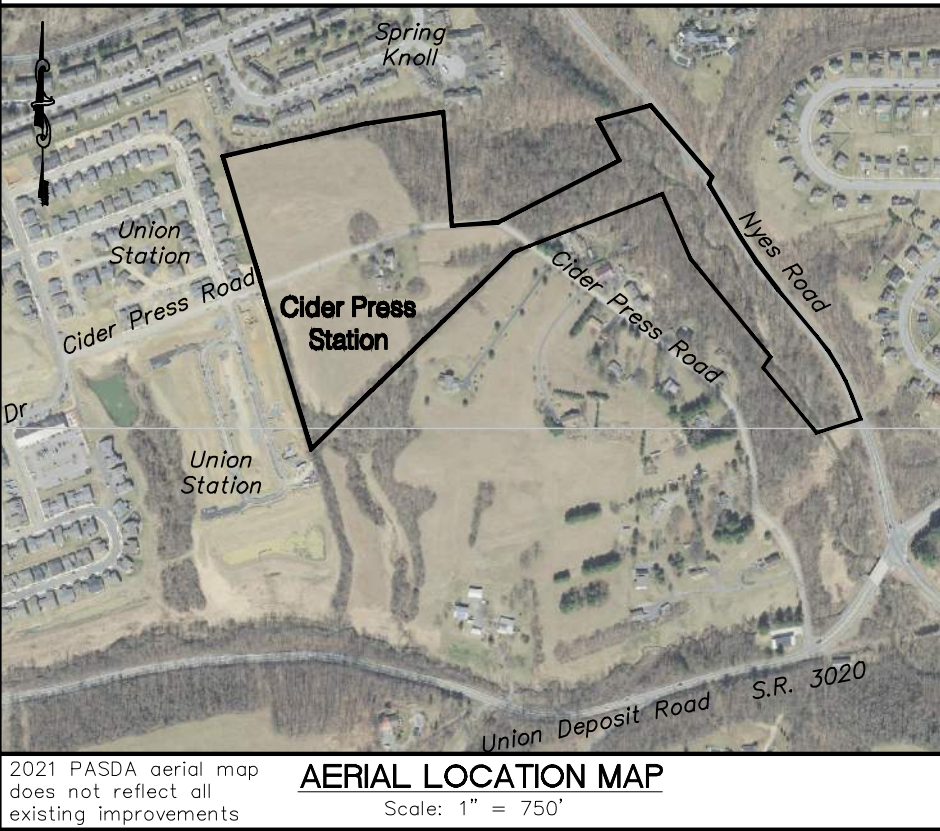
Project No. 202322
Date June 2, 2022
Sheet No.

3 of 23



SOILS TABLE			
SOIL SYMBOL	SOIL DESCRIPTION	HYDROLOGIC GROUP	HYDRIC
BeB2 & BeC2	Bedington Shaly Silt Loam	B	No
BkC2 & BkD2	Berks shaly silt loam	B	No
BtB2	Brinkerton and Armagh Silt Loam	D	Partially
WeD2 & WeE2	Comly silt loam	D	No

EXISTING FEATRES NOTES
The Cider Press Station property consists of a single tract of TND Zoned land totally 27.71 acres. The site is located along Cider Press Road just east of the Union Station/Shadebrook Community. The site coverage consists of meadow with some treed areas as shown on the plan. The onsite environmental features consist of a wetland pocket located in the southwest corner of the site and at the eastern side of the site along Nyes Run, an unnamed intermittent stream along northern site property line and Nyes Run (WWF) is located along the site's eastern property boundary; there are no stream or wetland impacts proposed with this plan. The project is surrounded by other residential uses; Union Station (TND) abuts the western property boundary; Spring Knoll (townhouses) abuts the northern property boundary and individual standalone single family detached residential lots/dwellings abut the southern and eastern site boundaries.



DATE
5-6-2024

REVISIONS
Revisions regarding Master Plan update

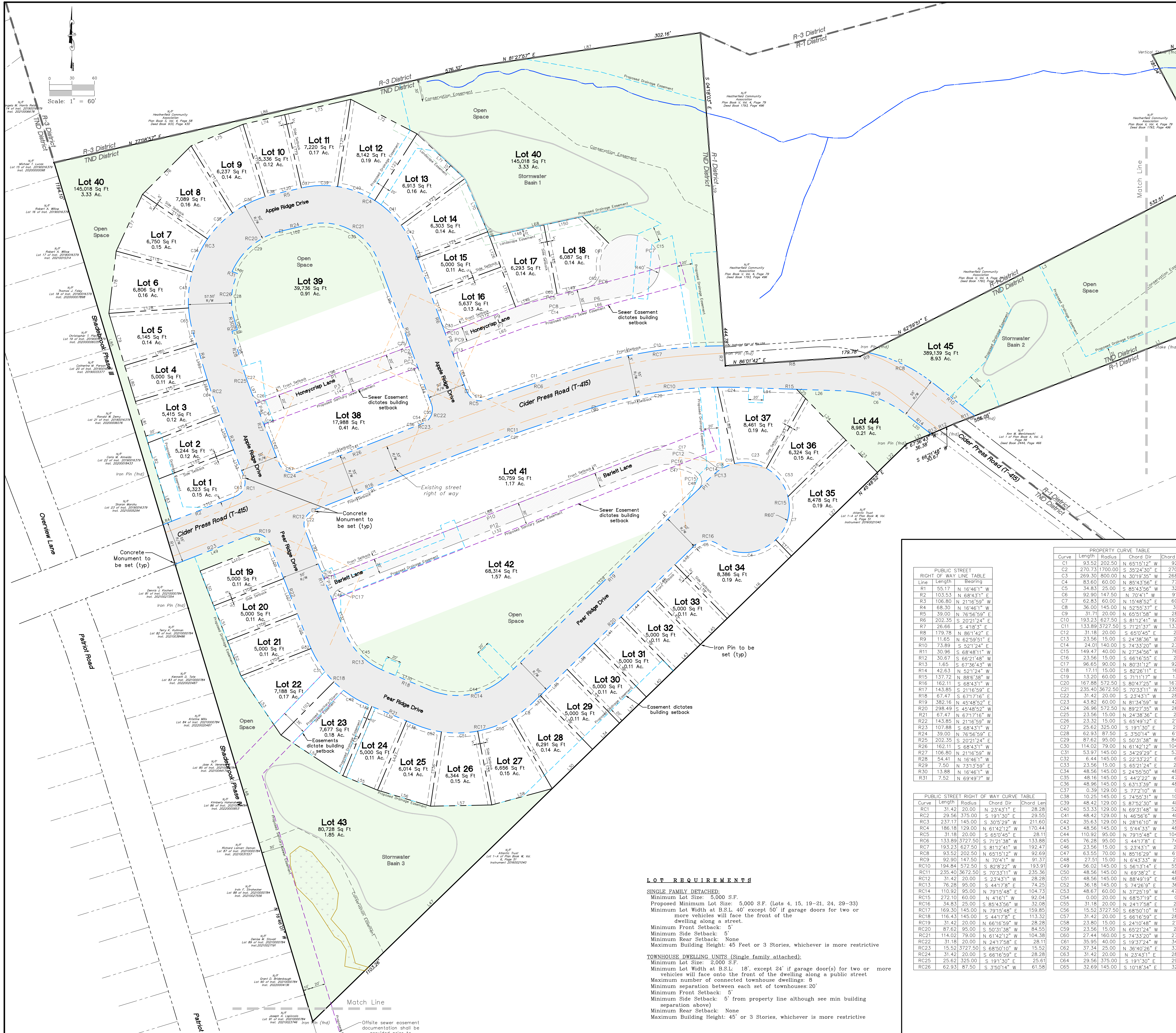
1. 2. 3. 4. 5. 6. 7. 8. 9.

MELLOTT ENGINEERING, INC.
Civil Engineering - Land Planning & Development - Water Resources
7500 Devonshire Heights Road, Summit, PA 17036
mellottengr@gmail.com
717-566-6533

EXISTING FEATURES PLAN
FOR
CIDER PRESS STATION
Owner/Developer: Cider Press Land Company, LLC
LOWER PAXTON TOWNSHIP DAUPHIN COUNTY PENNSYLVANIA

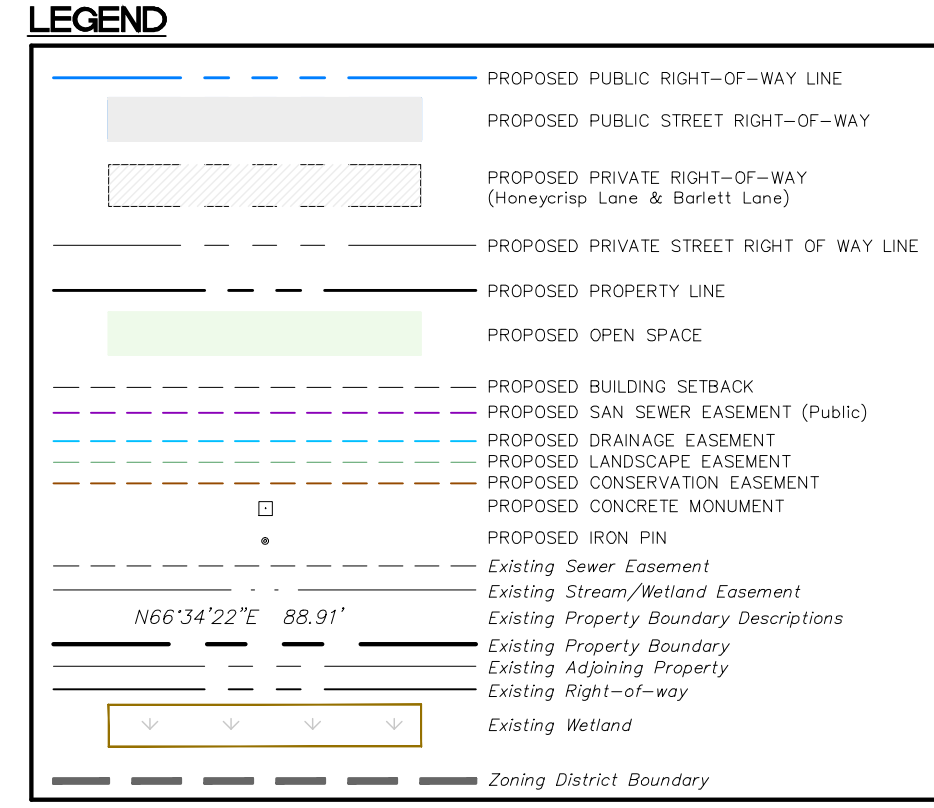
Project No. 202322
Date June 2, 2022
Sheet No.

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PLAN INTENT NOTE

The intent of this plan sheet is to detail the subdivision items associated with the project. The subject property is a 27.711 acre TND zoned tract of land. The subdivision aspects of the project consist of creating 45 total lots consisting of 37 single-family detached dwelling lots and 8 other lots which contain townhouse units and defined open space (the green hatch pattern shown in this plan represents the open space associated with the project; open space is not a part of any single family detached dwelling lot nor contains any townhouse units; see Master Plan for improvements along with the Open Space). There are three public roads associated with the project; existing Cider Press Road and proposed Pear Ridge Drive and Apple Ridge Drive; Cider Press right of way shall be 55' wide and Pear Ridge & Apple Ridge Drives shall be 50' wide. Honeycrisp Lane & Barlett Lane are two private streets proposed with the project that shall be owned and maintained by the Community' HOA (20' private street right of way widths). Drainage Easements are provided around all stormwater BMPs located outside of a public street right of way. Sanitary sewer easements are provided around all sanitary sewer mains located outside of a public street right of way. See standalone Easement Plan sheet for easements in relation to improvements.



PROPERTY CURVE TABLE				
Curve	Length	Radius	Chord Dir	Chord Len
C1	93.52	202.50	N 85°15'12" W	92.69
C2	270.73	1700.00	S 35°24'30" E	270.44
C3	269.30	800.00	N 30°19'35" W	268.03
C4	83.60	60.00	N 85°43'56" E	77.00
C5	34.83	25.00	S 82°43'56" W	32.08
C6	92.90	147.50	N 70°41'11" W	91.37
C7	62.83	60.00	N 15°48'52" E	60.00
C8	36.00	145.00	S 22°50'37" E	35.91
C9	31.71	20.00	N 65°15'58" W	28.49
C10	193.23	627.50	S 81°12'41" W	192.47
C11	133.89	3727.50	S 71°21'37" W	133.86
C12	31.18	20.00	S 65°45'45" E	28.11
C13	23.56	15.00	S 24°38'36" W	21.21
C14	24.01	140.00	S 74°33'20" W	23.98
C15	149.47	40.00	N 27°34'56" W	76.48
C16	23.56	15.00	S 68°16'38" E	21.21
C17	96.65	80.00	N 80°11'12" W	92.07
C18	17.11	15.00	S 82°26'11" E	16.20
C19	13.20	60.00	S 71°11'17" W	13.18
C20	167.88	572.50	S 80°42'25" W	167.28
C21	235.40	3672.50	S 70°33'11" W	235.36
C22	31.42	20.00	S 23°43'11" W	28.28
C23	43.62	60.00	N 81°34'59" W	42.86
C24	26.96	572.50	S 89°27'35" W	26.96
C25	23.56	15.00	N 24°38'36" E	21.21
C26	23.32	15.00	S 65°49'12" E	21.04
C27	25.62	325.00	S 19°13'01" E	25.61
C28	62.93	67.50	S 35°01'44" W	61.58
C29	87.62	95.00	S 80°15'48" W	84.55
C30	53.97	145.00	S 34°29'29" E	53.65
C31	4.44	145.00	S 22°33'22" E	6.44
C32	23.56	15.00	S 65°12'41" E	21.21
C33	48.56	145.00	S 24°55'50" W	48.33
C34	48.16	145.00	S 44°22'22" E	47.94
C35	48.98	145.00	S 76°52'14" E	48.73
C36	0.39	129.00	S 77°21'01" E	0.39
C37	10.25	145.00	S 74°55'31" W	10.24
C38	48.42	129.00	S 87°52'30" W	48.13
C39	53.33	129.00	N 69°31'14" W	52.95
C40	48.42	129.00	N 48°56'56" E	48.13
C41	35.63	129.00	N 28°16'10" W	35.52
C42	48.56	145.00	S 5°44'33" W	48.33
C43	110.92	95.00	N 79°15'48" E	104.73
C44	76.28	95.00	S 44°17'51" E	74.25
C45	56.02	145.00	S 56°13'14" E	55.67
C46	23.56	15.00	S 23°43'11" W	21.21
C47	63.55	70.00	N 85°16'29" W	61.39
C48	27.51	15.00	N 6°43'33" W	23.81
C49	56.02	145.00	S 56°13'14" E	55.67
C50	48.56	145.00	N 69°38'21" E	48.33
C51	48.56	145.00	N 69°38'21" E	48.33
C52	35.18	145.00	S 74°33'20" W	36.09
C53	48.67	60.00	N 37°29'19" E	47.34
C54	0.00	20.00	N 68°57'19" E	0.00
C55	31.18	20.00	N 24°17'58" E	28.11
C56	15.52	3727.50	S 68°50'10" W	15.52
C57	31.42	20.00	S 66°16'59" E	28.28
C58	23.80	15.00	S 24°10'48" W	21.38
C59	27.44	160.00	S 74°33'20" W	27.40
C60	31.18	20.00	N 24°17'58" E	28.11
C61	15.52	3727.50	S 68°50'10" W	15.52
C62	31.42	20.00	S 66°16'59" E	28.28
C63	25.62	325.00	S 19°13'01" E	25.61
C64	32.69	67.50	S 10°18'34" E	32.62

PUBLIC STREET RIGHT OF WAY CURVE TABLE				
Curve	Length	Radius	Chord Dir	Chord Len
R1	31.42	20.00	N 23°43'11" E	28.28
R2	29.56	375.00	S 19°13'01" E	29.55
R3	237.17	145.00	S 30°52'29" W	211.60
R4	186.18	129.00	N 61°24'12" W	170.44
R5	31.18	20.00	S 65°12'41" E	28.11
R6	133.89	3727.50	S 71°21'38" W	133.88
R7	193.23	627.50	S 81°12'41" W	192.47
R8	93.52	202.50	N 85°15'12" W	92.69
R9	92.90	147.50	N 70°41'11" W	91.37
R10	194.84	572.50	S 82°22'22" W	193.91
R11	235.40	3672.50	S 70°33'11" W	235.36
R12	31.42	20.00	S 23°43'11" W	28.28
R13	76.28	95.00	S 44°17'51" E	74.25
R14	110.92	95.00	N 79°15'48" E	104.73
R15	272.10	60.00	N 41°6'11" W	92.04
R16	34.83	25.00	S 82°43'56" W	32.08
R17	169.30	145.00	N 79°15'48" E	159.85
R18	116.43	145.00	S 44°17'51" E	113.32
R19	31.42	20.00	N 66°16'59" E	28.28
R20	87.62	95.00	S 50°31'38" W	84.55
R21	114.02	95.00	N 61°24'12" W	74.38
R22	31.18	20.00	N 24°17'58" E	28.11
R23	15.52	3727.50	S 68°50'10" W	15.52
R24	31.42	20.00	S 66°16'59" E	28.28
R25	25.62	325.00	S 19°13'01" E	25.61
R26	62.93	67.50	S 35°01'44" W	61.58

PRIVATE STREET RIGHT OF WAY CURVE TABLE				
Curve	Length	Radius	Chord Dir	Chord Len
PC1	23.32	15.00	S 65°49'12" E	21.04
PC2	23.56	15.00	N 24°38'36" E	21.21
PC3	23.56	15.00	N 65°21'24" W	21.21
PC4	23.80	15.00	S 24°10'48" W	21.38
PC5	27.44	160.00	S 74°33'20" W	27.40
PC6	37.34	25.00	N 36°40'26" E	33.97
PC7	185.42	40.00	N 53°19'35" W	58.70
PC8	24.01	140.00	S 74°33'20" W	23.98
PC9	23.56	15.00	S 24°38'36" W	21.21
PC10	23.56	15.00	S 65°21'24" E	21.21
PC11	23.56	15.00	S 66°17'41" E	21.21
PC12	96.65	80.00	N 80°11'12" W	92.07
PC13	17.11	15.00	S 82°26'10" E	16.20
PC14	19.97	60.00	S 55°20'54" W	19.88
PC15	27.51	15.00	N 6°43'33" W	23.81
PC16	63.55	70.00	N 85°16'29" W	61.39
PC17	23.56	15.00	S 23°43'11" W	21.21

LOT REQUIREMENTS

SINGLE FAMILY DETACHED:
Minimum Lot Size: 5,000 S.F.
Proposed Minimum Lot Size: 5,000 S.F. (Lots 4, 15, 19-21, 24, 29-33)
Minimum Lot Width at B.S.L. 40' except 50' if garage doors for two or more vehicles will face the front of the dwelling along a street.
Minimum Front Setback: 5'
Minimum Side Setback: 5'
Minimum Rear Setback: None
Maximum Building Height: 45 Feet or 3 Stories, whichever is more restrictive

TOWNHOUSE DWELLING UNITS (Single family attached):
Minimum Lot Size: 5,000 S.F.
Minimum Lot Width at B.S.L. 18', except 24' if garage door(s) for two or more vehicles will face onto the front of the dwelling along a public street
Maximum number of connected townhouse dwellings: 8
Minimum separation between each set of townhouses: 20'
Minimum Front Setback: 5'
Minimum Side Setback: 5' from property line although see min building separation above
Minimum Rear Setback: None
Maximum Building Height: 45' or 3 Stories, whichever is more restrictive

DATE
5-6-2024

REVISIONS
Revisions regarding Master Plan update

1 2 3 4 5 6 7 8 9

MELOTT ENGINEERING, INC.
Civil Engineering • Land Planning & Development • Water Resources
7500 Devonshire Heights • Harrisburg, PA 17036
melotheing@meconet.net
717-566-6533

Owner/Developer: CIDER PRESS STATION
DAUPHIN COUNTY PENNSYLVANIA
LOWER PAXTON TOWNSHIP

Project No. 202322
Date June 2, 2022

Sheet No.

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PUBLIC STREET RIGHT OF WAY LINE TABLE			
Line	Length	Bearing	
R1	55.17	N 16°46'1" W	
R2	103.53	N 68°43'1" E	
R3	106.80	N 21°16'59" W	
R4	68.30	N 16°46'1" W	
R5	59.00	N 76°56'59" E	
R6	202.35	S 20°21'24" E	
R7	26.66	S 41°8'3" E	
R8	179.78	N 86°14'2" E	
R9	11.65	N 62°59'51" E	
R10	73.89	S 52°12'4" E	
R11	30.96	S 68°48'11" W	
R12	30.67	S 66°21'48" W	
R13	1.65	S 67°36'43" W	
R14	42.63	N 52°12'4" W	
R15	137.72	N 88°6'38" W	
R16	162.11	S 68°43'1" W	
R17	143.85	S 21°16'59" E	
R18	67.47	S 67°17'16" E	
R19	382.16	N 45°48'52" E	
R20	298.49	S 45°48'52" W	
R21	67.47	N 67°17'16" W	
R22	143.85	N 21°16'59" E	
R23	107.88	S 68°43'1" W	
R24	330.00	N 76°56'59" E	
R25	202.35	S 20°21'24" E	
R26	162.11	S 68°43'1" W	
R27	106.80	N 21°16'59" W	
R28	54.41	N 16°46'1" W	
R29	7.50	N 73°13'59" E	
R30	13.88	N 16°46'1" W	
R31	7.52	N 69°49'7" W	

PUBLIC STREET RIGHT OF WAY CURVE TABLE				
Curve	Length	Radius	Chord Dir	Chord Len
R01	31.42	20.00	N 23°43'1" E	28.28
R02	29.56	375.00	S 19°13'0" E	29.55
R03	237.17	145.00	S 30°5'29" W	211.60
R04	186.18	129.00	N 61°42'12" W	170.44
R05	31.18	20.00	S 65°24'5" E	28.11
R06	133.89	3727.50	S 71°21'38" W	133.88
R07	193.23	627.50	S 81°24'1" W	192.47
R08	93.52	202.50	N 65°51'12" W	92.69
R09	92.90	1147.50	N 70°41" W	91.37
R10	194.84	572.50	S 82°8'22" E	193.91
R11	235.40	3672.50	S 70°33'11" W	235.36
R12	31.42	20.00	S 23°43'1" W	28.28
R13	76.28	95.00	N 44°17'8" E	74.25
R14	110.92	95.00	N 79°15'48" E	104.73
R15	272.10	60.00	N 41°6'1" W	92.04
R16	34.83	25.00	S 85°43'56" E	32.08
R17	163.30	145.00	N 79°15'48" E	159.85
R18	116.43	145.00	S 44°17'8" E	113.32
R19	31.42	20.00	N 66°16'59" W	28.28
R20	87.62	95.00	S 50°31'38" W	84.55
R21	114.02	79.00	N 61°42'12" W	104.38
R22	31.18	20.00	N 24°17'58" E	28.11
R23	15.52	3727.50	S 68°50'10" W	15.52
R24	31.42	20.00	S 66°16'59" E	28.28
R25	25.62	325.00	S 19°13'0" E	25.61
R26	62.93	87.50	S 35°0'14" W	61.58

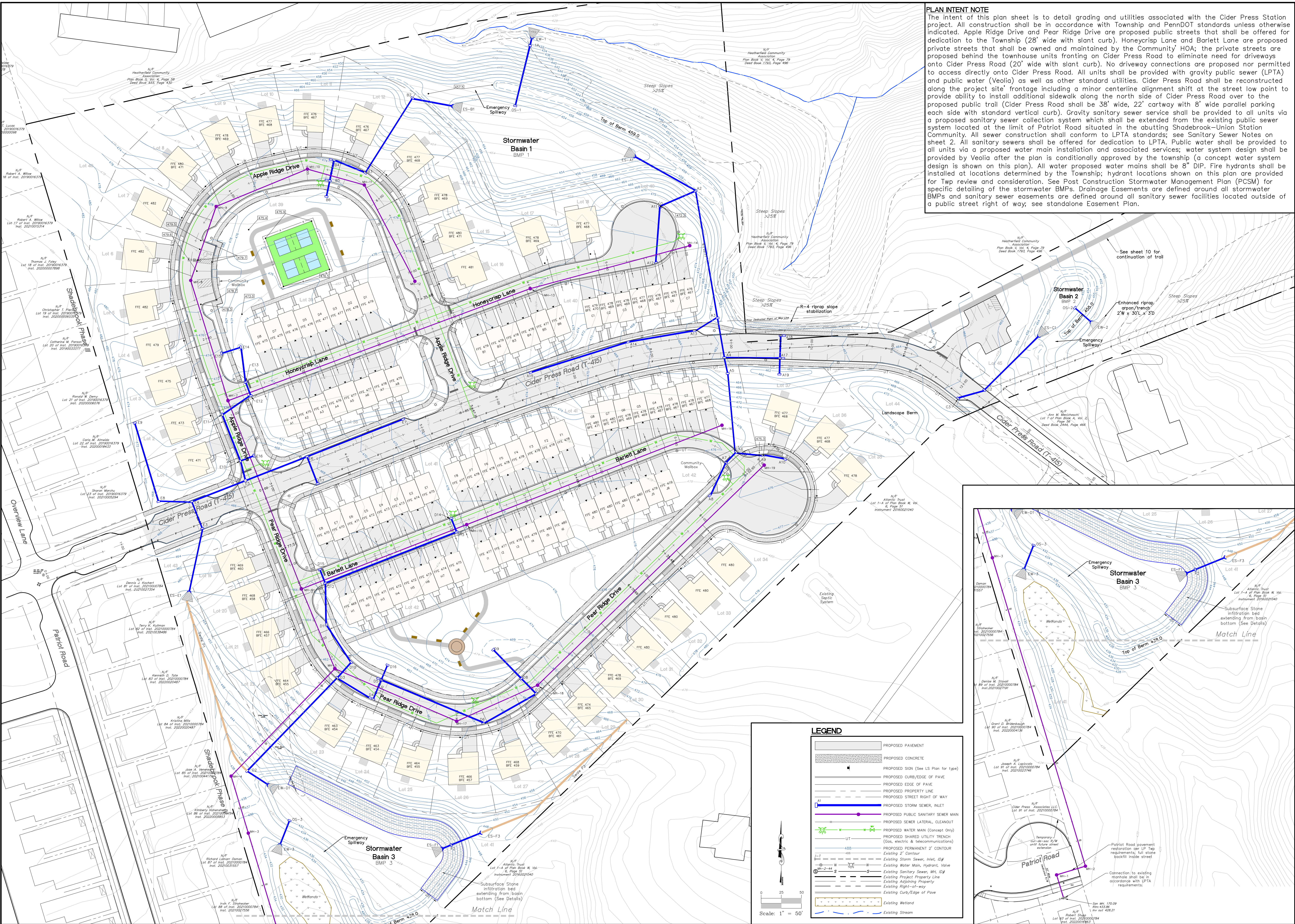
PROPERTY CURVE TABLE				
Curve	Length	Radius	Chord Dir	Chord Len
C1	93.52	202.50	N 65°51'12" W	92.69
C2	270.73	1700.00	S 35°24'30" E	270.44
C3	269.30	800.00	N 30°19'35" W	268.03
C4	83.60	60.00	N 85°43'56" E	77.00
C5	34.83	25.00	S 85°43'56" W	32.08
C6	92.90	147.50	N 70°41" W	91.37
C7	62.83	60.00	N 15°48'52" E	60.00
C8	36.00	145.00	S 52°53'37" E	35.91
C9	31.71	20.00	N 65°51'58" W	28.49
C10	193.23	627.50	S 81°12'41" W	192.47
C11	133.89	3727.50	S 71°21'37" W	133.88
C12	31.18	20.00	S 65°0'45" E	28.11
C13	23.56	15.00	S 24°38'36" W	21.21
C14	24.01	140.00	S 74°33'20" W	23.98
C15	149.47	40.00	N 27°34'56" W	76.48
C16	23.56	15.00	S 66°16'55" E	21.21
C17	96.65	90.00	N 80°31'12" W	92.07
C18	17.11	15.00	S 82°26'11" E	16.20
C19	13.20	60.00	S 71°11'17" W	13.18
C20	167.88	572.50	S 80°47'25" W	167.28
C21	235.40	3672.50	S 70°33'11" W	235.36
C22	31.42	20.00	S 23°43'1" W	28.28
C23	43.82	60.00	N 81°34'59" W	42.86
C24	26.96	572.50	N 89°27'35" W	26.96
C25	23.56	15.00	N 24°38'36" E	21.21
C26	23.32	15.00	S 65°49'12" E	21.04
C27	25.62	325.00	S 19°13'0" E	25.61
C28	62.93	87.50	S 35°0'14" W	61.58
C29	87.62	95.00	S 50°31'38" W	84.55
C30	114.02	79.00	N 61°42'12" W	104.38
C31	53.97	145.00	S 34°29'29" E	53.65
C32	6.44	145.00	S 22°33'22" E	6.44
C33	23.56	15.00	S 65°21'24" E	21.21
C34	48.56	145.00	S 24°55'50" W	48.33
C35	48.16	145.00	S 44°2'22" W	47.94
C36	48.96	145.00	S 63°13'39" W	48.73
C37	0.39	129.00	S 7°22'10" W	0.39
C38	10.25	145.00	S 74°55'31" W	10.24
C39	48.42	129.00	S 87°52'30" W	48.13
C40	57.33	129.00	N 69°31'48" W	52.95
C41	48.42	129.00	N 46°56'8" W	48.13
C42	35.63	129.00	N 28°16'1" W	35.32
C43	48.56	145.00	S 5°44'13" W	48.33
C44	110.92	95.00	N 79°15'48" E	104.73
C45	76.28	95.00	S 44°17'8" E	74.25
C46	23.56	15.00	S 23°43'1" W	21.21
C47	63.55	70.00	N 85°16'29" W	61.39
C48	27.51	15.00	S 64°33'3" W	23.81
C49	56.02	145.00	S 56°13'14" E	55.67
C50	48.56	145.00	N 69°38'2" E	48.33
C51	48.56	145.00	N 88°49'19" E	48.33
C52	36.18	145.00	S 74°33'20" E	36.09
C53	48.67	60.00	N 37°25'19" W	47.34
C54	0.00	20.00	N 68°57'19" E	0.00
C55	31.18	20.00	N 24°17'58" E	28.11
C56	15.52	3727.50	S 68°50'10" W	15.52
C57	31.42	20.00	S 66°16'59" E	28.28
C58	23.80	15.00	S 24°10'48" W	21.28
C59	23.56	15.00	N 65°21'24" W	21.21
C60	74.23	160.00	S 74°33'20" W	72.40
C61	35.95	40.00	S 19°37'24" W	34.75
C62	37.34	25.00	N 36°40'26" E	33.97
C63	31.42	20.00	N 23°43'1" E	28.28
C64	29.56	375.00	S 19°13'0" E	29.55
C65	32.69	145.00	S 10°18'34" E	32.62

PRIVATE STREET RIGHT OF WAY CURVE TABLE			
Line	Length	Bearing	
P1	189.30	N 69°38'36" E	
P2	50.00	S 20°21'24" E	
P3	188.49	S 69°38'36" W	
P4	50.01	N 21°16'59" W	
P5	37.66	N 79°28'5" E	
P6	102.47	S 79°28'5" W	
P7	115.68	S 69°38'36" W	
P8	50.00	N 20°21'24" W	
P9	115.68	N 69°38'36" E	
P10	443.57	N 68°43'1" E	
P11	28.89	S 45°48'52" W	
P12	443.57	S 68°43'1" W	
P13	50.00	N 21°16'59" W	

PROPERTY LINE TABLE			
Line	Length	Bearing	
L1	525.09	N 68°48'11" E	
L2	73.89	S 52°12'4" E	
L3	520.86	S 62°59'51" W	
L4	181.04	S 28°7'29" E	
L5	215.12	S 74°58'46" W	
L6	367.75	N 40°30'34" W	
L7	28.89	N 24°48'13" E	
L8	228.55	S 30°22'48" W	
L9	235.90	N 39°58'14" W	
L10	94.83	N 20°40'59" W	
L11	182.20	N 72°53'56" E	
L12	338.45	S 39°41'0" E	
L13	50.13	S 34°40'6" W	
L14	497.81	S 39°4'55" E	
L15	271.10	S 23°21'9" E	
L16	119.23	S 45°48'52" W	
L17	30.00	S 44°11'8" E	
L18	35.56	N 45°48'52" E	
L19	100.00	N 44°11'8" W	
L20	42.63	N 52°12'4" E	
L21	34.73	N 67°36'43" E	
L22	54.63	N 45°48'52" E	
L23	60.00	S 44°11'8" E	
L24	77.23	S 44°11'8" E	
L25	17.07	S 44°11'8" E	
L26	59.36	N 88°38'3" W	
L27	169.72	N 45°48'52" E	
L28	107.76	S 45°48'52" W	
L29	100.00	N 44°11'8" W	
L30	75.04	S 45°48'52" E	
L31	107.75	S 29°57'39" E	
L32	12.93	S 45°48'52" W	
L33	100.00	N 44°11'8" W	
L34	100.00	S 45°48'52" E	
L35	50.00	N 45°48'52" W	
L36	100.00	N 44°11'8" W	
L37	50.00	N 45°48'52" E	
L38	50.00	S 45°48'52" W	
L39	100.00	N 44°11'8" W	
L40	50.00	N 45°48'52" E	
L41	50.00	S 45°48'52" W	
L42	100.00	N 44°11'8" W	
L43	50.00	N 45°48'52" E	
L44	50.00	S 45°48'52" W	
L45	50.00	N 45°48'52" E	
L46	50.00	S 45°48'52" W	
L47	444.64	S 45°48'52" E	
L48	635.58	S 16°46'1" E	
L49	107.88	S 68°43'1" W	
L50	50.00	N 21°16'59" W	
L51	50.00	N 21°16'59" W	
L52	50.00	N 21°16'59" W	
L53	95.04	N 34°17'1" W	
L54	98.70	N 56°44'49" W	

PROPERTY LINE TABLE			
Line	Length	Bearing	
L55	50.00	N 71°17'16" W	
L56	73.63	N 73°12'2" W	
L57	81.67	S 88°49'19" W	
L58	83.31	S 74°52'49" W	
L59	418.12	N 41°8'3" W	
L60	47.30	S 20°21'24" E	
L61	115.68	S 69°38'36" W	
L62	102.47	S 79°28'5" W	
L63	50.00	N 20°21'24" W	
L64	126.65	N 77°51'5" E	
L65	6.85	S 20°21'24" E	
L66	102.47	S 79°28'5" W	
L67	50.00	S 44°37'57" E	
L68	94.83	N 20°40'59" W	
L69	6.85	S 20°21'24" E	
L70	77.11	S 23°13'59" E	
L71	87.31	S 46°56'6" E	
L72	99.34	S 62°29'56" E	
L73	90.34	N 76°57'4" E	
L74	57.04	N 76°57'4" E	
L75	74.88	N 67°32'43" E	
L76	91.23	N 45°21'4" E	
L77	83.33	N 24°55'50" E	
L78	83.37	N 63°40'4" E	
L79	72.51	N 16°46'1" W	
L80	50.00	N 16°46'1" W	
L81	57.64	N 16°46'1" W	
L82	50.16	N 16°46'1" W	
L83	58.89	N 16°46'1" W	
L84	12.04	N 68°43'1" E	
L85	503.34	S 16°46'1" E	
L86	576.32	S 77°51'5" W	
L87	302.16	S 81°27'57" W	
L88	443.57	S 68°43'1" W	
L89	104.16	S 12°30'29" E	
L90	0.00	S 20°21'24" E	
L91	162.11	N 68°43'1" E	
L92	55.00	N 21°16'59" W	
L93	50.00	N 45°48'52" W	
L94	78.36	N 88°38'3" W	
L95	105.05	N 20°21'24" W	
L96	189.30	N 69°38'36" E	
L97	6.56	S 21°16'59" E	
L98	54.41	S 16°46'1" E	
L99	7.50	S 73°13'59" W	
L100	13.88	S 16°46'1" E	
L101	7.52	S 69°49'7" E	
L102	39.00	N 76°56'59" W	
L103	100.00	N 44°50'42" E	
L104	100.14	S 68°43'1" W	
L105	43.56	N 21°16'59" W	
L106	100.00	S 68°43'1" W	
L107	50.00	N 21°16'59" W	
L108	100.00	S 68°43'1" W	
L109	50.00	N 21°16'59" W	
L110	100.00	S 68°43'1" W	
L111	56.85	N 20°21'24" W	
L112	85.00	N 69°38'36" E	

PROPERTY LINE TABLE		
Line	Length	Bearing
L113	41.85	S 202°12'24"E
L114	105.00	S 89°59'59"E
L115	105.00	S 74°59'49"E
L116	106.00	S 52°38'31"E
L117	105.21	S 31°47'35"E
L118	105.21	S 16°47'35"E
L119	106.00	S 12°52'39"E
L120	39.00	S 76°58'59"E
L121	174.42	S 83°37'39"E
L122	43.20	S 89°59'59"E
L123	105.00	S 53°49'49"E
L124	100.00	S 69°36'36"E
L125	43.20	S 202°12'24"E
L126	105.00	S 89°59'59"E
L127	50.00	S 202°12'24"E
L128	106.36	S 86°28'42"E
L129	106.36	S 45°45'52"E
L130	67.87	S 89°59'59"E
L131	38.45	S 21°16'59"E
L132	44.52	S 68°43'49"E
L133	44.52	S 68°43'49"E
L134	49.77	S 67°17'16"E
L135	100.00	S 104°26'20"E
L136	100.00	S 82°58'58"E
L137	100.00	S 89°59'59"E
L138	12.74	S 67°17'16"E
L139	12.74	S 67°17'16"E
L140	0.00	S 89°59'59"E
L141	50.00	S 89°59'59"E
L142	50.23	S 21°16'59"E
L143	188.49	S 69°36'36"E
L144	174.42	S 202°12'24"E
L145	105.00	S 89°59'59"E
L146	30.68	S 69°36'36"E
L147	100.00	S 202°12'24"E
L148	73.96	S 77°55'15"E
L149	52.98	S 77°55'15"E
L150	126.62	S 77°55'15"E
L151	49.91	S 49°48'43"E
L152	106.66	S 68°43'49"E
L153	106.66	S 68°43'49"E
L154	102.91	S 68°43'49"E
L155	50.00	S 21°16'59"E
L156	50.00	S 21°16'59"E
L157	100.00	S 89°59'59"E
L158	1.97	S 16°46'41"E
L159	50.00	S 16°46'41"E
L160	50.00	S 16°46'41"E
L161	16.33	S 16°26°11"E



PLAN INTENT NOTE

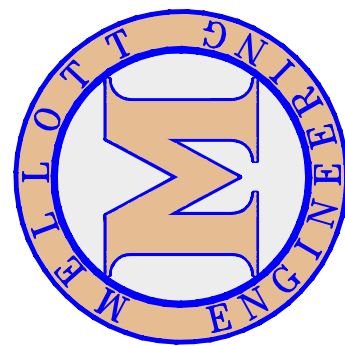
The intent of this plan sheet is to detail grading and utilities associated with the Cider Press Station project. All construction shall be in accordance with Township and PennDOT standards unless otherwise indicated. Apple Ridge Drive and Pear Ridge Drive are proposed public streets that shall be offered for dedication to the Township (28' wide with slant curb). Honeycrisp Lane and Barlett Lane are proposed private streets that shall be owned and maintained by the Community' HOA; the private streets are proposed behind the townhouse units fronting on Cider Press Road to eliminate need for driveways onto Cider Press Road (20' wide with slant curb). No driveway connections are proposed nor permitted to access directly onto Cider Press Road. All units shall be provided with gravity public sewer (LPTA) and public water (Veolia) as well as other standard utilities. Cider Press Road shall be reconstructed along the project site' frontage including a minor centerline alignment shift at the street low point to provide ability to install additional sidewalk along the north side of Cider Press Road over to the proposed public trail (Cider Press Road shall be 38' wide, 22' cartway with 8' wide parallel parking each side with standard vertical curb). Gravity sanitary sewer service shall be provided to all units via a proposed sanitary sewer collection system which shall be extended from the existing public sewer system located at the limit of Patriot Road situated in the abutting Shadebrook-Union Station Community. All sewer construction shall conform to LPTA standards; see Sanitary Sewer Notes on sheet 2. All sanitary sewers shall be offered for dedication to LPTA. Public water shall be provided to all units via a proposed water main installation and associated services; water system design shall be provided by Veolia after the plan is conditionally approved by the township (a concept water system design is shown on this plan). All water proposed water mains shall be 8" DIP. Fire hydrants shall be installed at locations determined by the Township; hydrant locations shown on this plan are provided for Twp review and consideration. See Post Construction Stormwater Management Plan (PCSM) for specific detailing of the stormwater BMPs. Drainage Easements are defined around all stormwater BMPs and sanitary sewer easements are defined around all sanitary sewer facilities located outside of a public street right of way; see standalone Easement Plan.

DATE
5-6-2024

REVISIONS
Revisions regarding Master Plan update

1. 2. 3. 4. 5. 6. 7. 8. 9.

MELLOTT ENGINEERING, INC.
Civil Engineering • Land Planning & Development • Water Resources
7500 Devonshire Road • Hummelstown, PA 17036
mellotteng@comcast.net
717-566-6533



GRADING-UTILITY PLAN
FOR
CIDER PRESS STATION
Owner/Developer: Cider Press Land Company, LLC
DAUPHIN COUNTY PENNSYLVANIA
LOWER PAXTON TOWNSHIP

Project No. 202322
Date June 2, 2022
Sheet No.