

DAUPHIN COUNTY SUBDIVISION/LAND DEVELOPMENT REVIEW REPORT

Municipality	Derry Township	Surveyor	Burkhard	Engineer/RLA	Hess				
Plat Title	The Hershey Lodge								
Zoning District	Commercial Recreation	Proposed Land Use	Hotel, Conference Center						
Plat Status:	Preliminary	Plat Type:	Subdivision	Regulations:	County				
	Final			X	Municipal				
	X	P/F	X	Land Development	X	Zoning			
		Minor			X	S&LD			
Existing # of Lots	1	Proposed # of Lots	1	Proposed # of New DUs	0	Subdivided / Developed Acres	1.77	Total Acres	44.08
Date Received	01/09/26	Staff Review	01/28/26	Official County Review	01/28/26				

Reviewed by DMK Checked by _____ Tax Map Parcel # 24-029-019

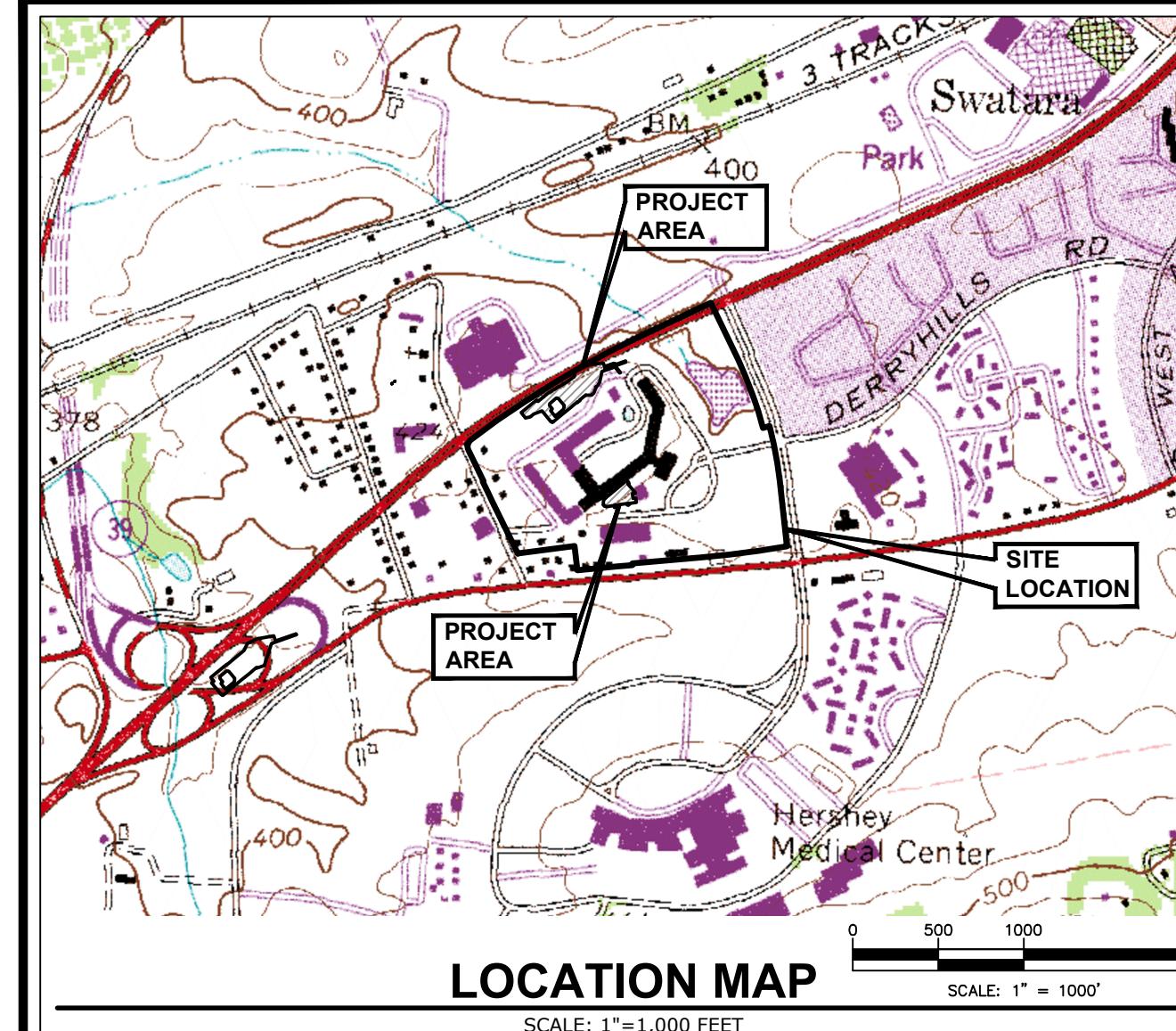
- When applicable, streets, sewer, water, storm drainage, and other infrastructure elements to be verified as adequate by municipal staff/engineer. Any improvement guarantees shall be posted prior to final plat approval.
- Registered PA Land Surveyor is required to certify all lot/tract boundary descriptions.
- When applicable, zoning compliance to be verified by Municipal Zoning Officer.
- Appropriate sewage module component should be processed prior to final plat approval.
- Final plats must be recorded within 90 days of approval.

Review comments with cited ordinance provisions are based on municipal regulations on file with the *County Planning Commission*.

1. The following certifications, signatures and approvals (or approved waivers) are required prior to plan recording:
 - a. Surveyor/engineer name, seal and signature [S-LD §185-13E(4a)(32, 33)]
 - b. Ownership and dedicatory statements with notarization [S-LD §185-13E(4a)(46, 47)]
 - c. Erosion and sedimentation control [S-LD §185-13E(4a)22]
 - d. Stormwater management plan [S-LD §185-13E(5f); 185-26]
 - e. DEP sewage planning module [S/LD - §185-13E(5b)]
 - f. Lighting plan and professional certification [S-LD §185-33E]
2. Note location of nearest fire hydrant. Provide data substantiating minimum fire hydrant flow, availability, recharge and duration requirements [S-LD §185-12D(4g); §185-36B (7)].
3. Provide any other reasonable data the Township may require to evaluate the proposal [S-LD §185-13E(5f)].

Plan No. 26-015

Plat Specifications	Yes	No	N/A
1. Name of proposed subdivision/land development shown	✓		
2. Owner/developer name, address & telephone number shown	✓		
3. Municipality name shown	✓		
4. Tax parcel number/Deed reference shown/Instrument #	✓		
5. North point shown	✓		
6. Map scale shown (written/graphic) <i>(waiver requested)</i>	✓		
7. Date of plan preparation shown	✓		
8. Certification of surveyor/engineer shown <i>(need seals, signatures)</i>	✓		
9. Location map shown	✓		
10. Total property map (bearings, distances, area, primary control point) shown	✓		<i>(no pcp)</i>
11. Names of adjacent landowners/subdivision shown	✓		
12. Lot numbers shown <i>(tax parcel #)</i>	✓		
13. Lot dimensions shown			✓
14. Lot areas shown	✓		
15. Permanent monuments and markers shown <i>(waiver requested)</i>	✓		
16. Building setbacks shown	✓		
17. Existing natural features shown -			
Wetlands			✓
Floodplains			✓
Woodlands, streams			✓
18. Contours at required interval shown	✓		
19. Easements shown and identified	✓		
20. Existing man-made features shown -			
Building (s)	✓		
Storm drainage facilities	✓		
Sewer mains	✓		
Water mains	✓		
21. Proposed man-made features shown -			
Building (s)	✓		
Storm drainage facilities	✓		
Sewer disposal - public (✓) on-lot ()	✓		
Water supply - public (✓) well ()	✓		
22. Existing streets shown -			
Name	✓		
R/W width	✓		
Paving width	✓		
Dedicated R/W width	✓		
23. Proposed streets shown -			
Name			✓
R/W width			✓
Paving width			✓
Profiles <i>(waiver requested - utilities)</i>	✓		
24. Curbs shown <i>(waiver requested)</i>	✓		
25. Sidewalks shown <i>(deferral requested)</i>	✓		
26. Existing and proposed coverage shown	✓		
27. Parking schedule provided shown	✓		
28. Traffic study completed <i>(waiver requested - info provided)</i>			✓
29. Recreation area shown/fee in-lieu-of provided			✓
30. Erosion and sedimentation control plan shown	✓		
31. Statement of ownership, signature and notarization shown <i>(needs sign/notar)</i>	✓		
32. Dedicatory statement shown			✓
33. Approval blocks shown	✓		
34. PADOT Highway Occupancy Permit statement shown	✓		
35. Consistency with Future Land Use plans - County plans	✓		
			Municipal plans



PRELIMINARY/ FINAL LAND DEVELOPMENT PLAN

THE HERSHEY LODGE

FOR

HERSHEY ENTERTAINMENT & RESORTS COMPANY

DERRY TOWNSHIP

DAUPHIN COUNTY, PENNSYLVANIA

LANDOWNER / APPLICANT

HERSHEY ENTERTAINMENT & RESORTS COMPANY
108 CHOCOLATE WORLD WAY
HERSHEY, PA 17033
TELEPHONE: 717.534.3179
CONTACT: BRAD KIRKHAM, P.E., CWI, DIRECTOR OF ENGINEERING

SITE ENGINEER / PLAN PREPARER

KUROWSKI & WILSON, LLC
2201 NORTH FRONT STREET, SUITE 200
HARRISBURG, PA 17110
TELEPHONE: 717.635.2835
CONTACT: JENNIFER LEE, PLA

SITE SURVEYOR

KUROWSKI & WILSON, LLC
2201 NORTH FRONT STREET, SUITE 200
HARRISBURG, PA 17110
TELEPHONE: 717.635.2835
CONTACT: DENNIS P. BURKHARD, P.L.S.

UTILITY INFORMATION

THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996 FOR NOTIFICATION OF UTILITIES BEFORE EXCAVATION IN CONTRACT AREA. THE UNDERGROUND UTILITIES LOCATION CALL NUMBER IS 1-800-242-1776.

PA ONE-CALL SERIAL NUMBER: 2025612826 (DESIGN TICKET)
THE FOLLOWING UTILITY FACILITY OWNERS WERE NOTIFIED BY THE PA ONE CALL SYSTEM, INC.
CABLE PROTECTION SERVICES INC PENNSYLVANIA AMERICAN WATER
ADDRESS: PO BOX 4816 ADDRESS: 200 CANAL STREET
MIDLOTHIAN, VA 23112 HUMMELSTOWN, PA 17036
CONTACT: DEBBIE KING CONTACT: MICHAEL RAGER
EMAIL: DEBBIE.KING@CABLEPS.COM EMAIL: MICHAEL.RAGER@AMWATER.COM

CROWN CASTLE
ADDRESS: 1300 CORPORATE DR
CANONSBURG, PA 15317
CONTACT: FIBER DIG TEAM PERSONNEL
EMAIL: FIBER.DIG@CROWNCastle.COM

VERIZON NORTH
ADDRESS: 670 CLEVINGER ROAD
HERSHEY, PA 17033
CONTACT: MICHAEL STOTLER
EMAIL: MSTOTLER@DTMA.COM

PENNNSYLVANIA ELECTRIC CO
ADDRESS: 341 WHITE POND DR
AKRON, OH 44320
CONTACT: MELISSA ADAMS
EMAIL: MADAMS@FIRSTENERGYCORP.COM

ZONING DATA

ZONING DISTRICT: (CR) COMMERCIAL RECREATION			
PROPOSED USE: HOTEL AND CONFERENCE CENTER	REQUIRED:	EXISTING:	PROPOSED:
MINIMUM LOT AREA:	TWO ACRES	1,920,056 SQ. FT. / 44.08 ACRES	1,920,056 SQ. FT. / 44.08 ACRES
MINIMUM LOT WIDTH:	200 FEET	1,525 FEET	1,525 FEET
MINIMUM LOT DEPTH:	200 FEET	± 796 FEET	± 796 FEET
FRONT YARD SETBACK:	40 FEET* / 25 FEET**	>40 FEET* / >25 FEET**	>40 FEET* / >25 FEET**
SIDE YARD SETBACK:	40 FEET* / 20 FEET**	>40 FEET* / >20 FEET**	>40 FEET* / >20 FEET**
REAR YARD SETBACK:	40 FEET* / 25 FEET**	>40 FEET* / >25 FEET**	>40 FEET* / >25 FEET**
MAXIMUM BUILDING HEIGHT:	95 FEET	37 FEET	< 95 FEET 36'-0" SPA BUILDING 15'-0" POOL/GOLF SERVICE BUILDING 46'-0" COCOA TERRACE ADDITION
MAXIMUM IMPERVIOUS *** COVERAGE:	60% (1,152,034 SF, 26.45 AC) 70% (1,344,039 SF, 30.85 AC)	± 59.17 ± 1,136,168 SF ± 26.08 AC	59.62% ± 1,144,818 SF ± 26.28 AC
MINIMUM VEGETATIVE COVERAGE:	30% (576,017 SF, 13.22 AC)	± 36.25% ± 696,089 SF ± 15.98 AC	± 35.80% ± 687,439 SF ± 15.78 AC
FLOOR AREA NON-RESIDENTIAL:		499,364 SF 11.46 AC	12,063 SF, 0.28 AC POOL/GOLF SERVICE BUILDING 1,008 SF, 0.02 AC COCOA TERRACE 17,401 SF, 0.40 AC TOTAL 529,828 SF, 12.16 AC
OTHER PERVIOUS COVERAGE:	N/A	± 4.58% ± 87,868 SF ± 2.02 ACs.	± 4.58% ± 87,868 SF ± 2.02 ACs.

* PRINCIPAL BUILDING / ** ACCESSORY STRUCTURE / *** MASTER PLAN REVIEW/APPROVAL ALLOWS UP TO AN ADDITIONAL 10% IN IMPERVIOUS COVERAGE

TAX PARCEL:	24-029-019
DEED REF. / INSTRUMENT #:	20080006188
EXISTING LOT AREA:	1,920,056 SQ. FT. / 44.08 ACRES
PROPOSED SEWAGE DISPOSAL:	PUBLIC (DERRY TOWNSHIP MUNICIPAL AUTHORITY)
PROPOSED WATER SUPPLY:	PUBLIC (PA AMERICAN WATER COMPANY)

SITE DATA

C-701	OVERALL EROSION AND SEDIMENTATION CONTROL PLAN
C-701.1	EROSION AND SEDIMENTATION CONTROL PLAN A
C-701.2	EROSION AND SEDIMENTATION CONTROL PLAN B
C-702	E&S DETAILS
C-703	E&S DETAILS

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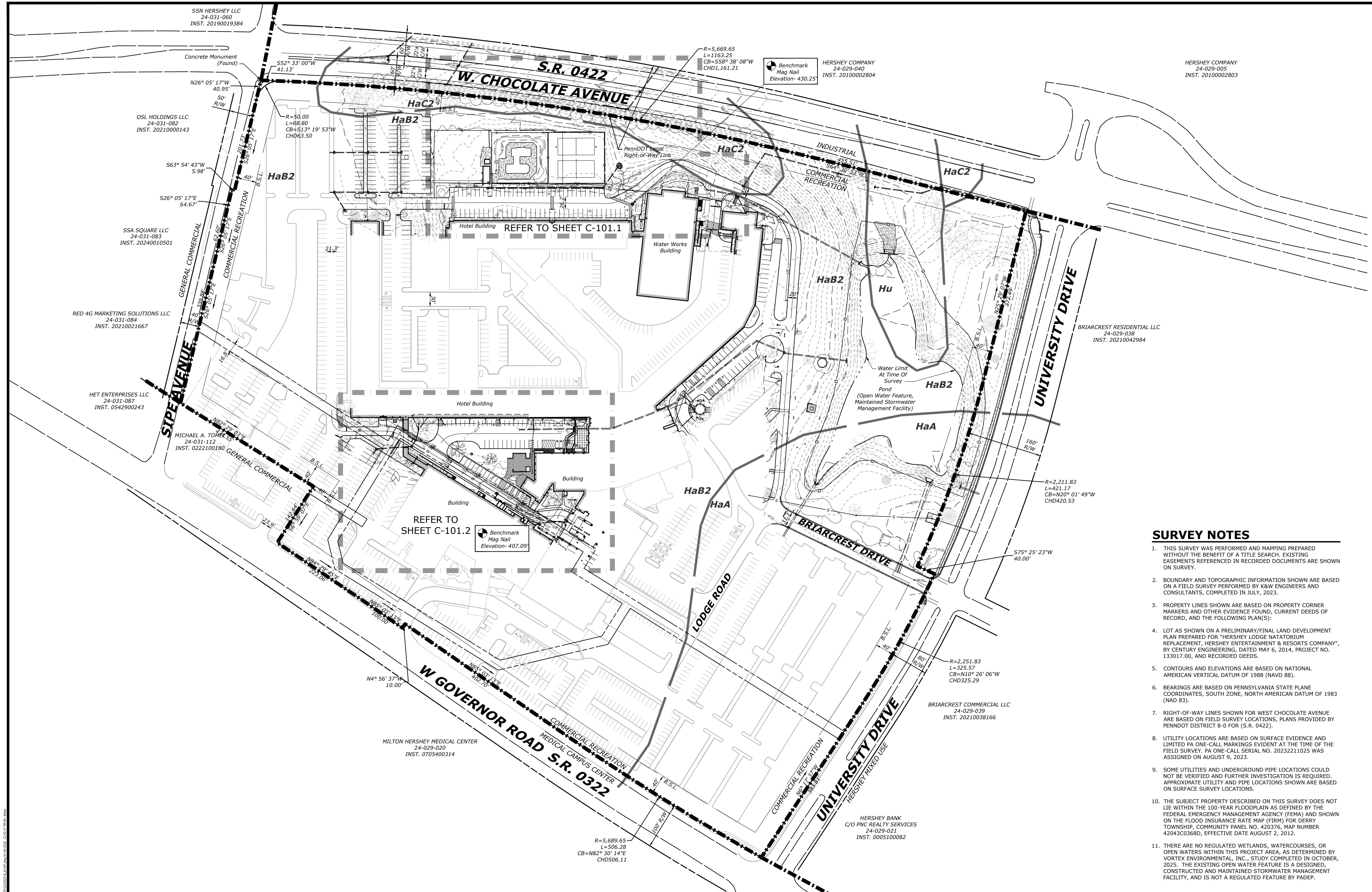
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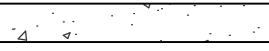
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C-703	E&S DETAILS

C-701	OVERALL EROSION AND SEDIMENTATION CONTROL PLAN
C-701.1	



LEGEND

—	EDGE OF PAVED BITUMINOUS SURFACE
—	EDGE OF GRAVEL OR CRUSHED STONE SURFACE
—	CENTER LINE
⊗	CONCRETE MONUMENT
—	LEGAL RIGHT OF WAY LINE
—	MINIMUM BUILDING SETBACK LINE
—	ZONING DISTRICT BOUNDARY LINE
— 420 —	INDEX CONTOUR LINE
— 421 —	INTERMEDIATE CONTOUR LINE
	BUILDING
	CONCRETE SURFACE
—	CURB
●	MANHOLE
⊗ Ls1	12' TALL LIGHT POLE
⊗ Ls2	20' TALL LIGHT POLE
⊗ Ls3	COURT LIGHT STANDARD
⊗ WL	3' TALL WALKWAY LIGHT POST
Em	ELECTRIC METER
Eb	ELECTRIC BOX
Tb	TELEPHONE BOX
○ Ds	DOWNSPOUT
=====	DRAINAGE PIPE
	DRAINAGE INLET
	RIP-RAP
—	UNDERGROUND NATURAL GAS LINE
Gv	GAS VALVE
Gm	GAS METER
	TREELINE
—	WALL
S	SANITARY SEWER GRAVITY LINE
Co	SANITARY SEWER CLEANOUT
W	WATER LINE
⊗ Wv	WATER VALVE
⊗ Fh	FIRE HYDRANT
As	AUTO SPRINKLER
○ Sp	WATER SPIGOT
⊗ Monitoring Well	MONITORING WELL
— X — X — X —	CHAIN-LINK/WOOD FENCE
— X — X — X —	STOCKADE FENCE
— o —	SIGN
○ ^{RRef}	RED REFLECTOR POST
○ ^{WRef}	WHITE REFLECTOR POST
○ ^{YRef}	YELLOW REFLECTOR POST
—	SOIL TYPE BOUNDARY LINE

SOILS INFORMATION

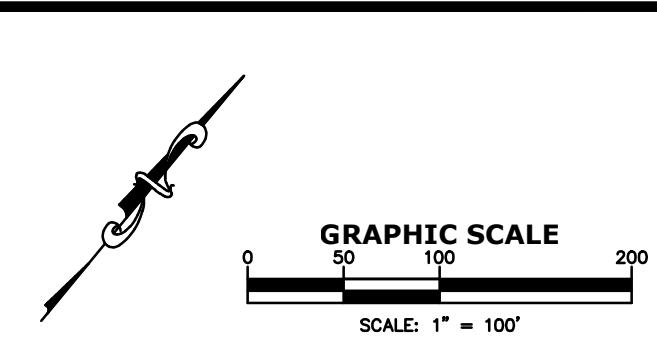
HaA Hagerstown Silt Loam, 0 To 3 Percent Slopes [HYDROLOGIC GROUP B]

H-2 Hagerstown Silt Loam, 3 To 8 Percent Slopes

INTERDISCIPLINARY GROUP D

HACB [HYDROLOGIC GROUP B]

11. THERE ARE NO REGULATED WETLANDS, WATERCOURSES, OR OPEN WATERS WITHIN THIS PROJECT AREA, AS DETERMINED BY VORTEX ENVIRONMENTAL, INC., STUDY COMPLETED IN OCTOBER, 2025. THE EXISTING OPEN WATER FEATURE IS A DESIGNED, CONSTRUCTED AND MAINTAINED STORMWATER MANAGEMENT FACILITY, AND IS NOT A REGULATED FEATURE BY PADEP.



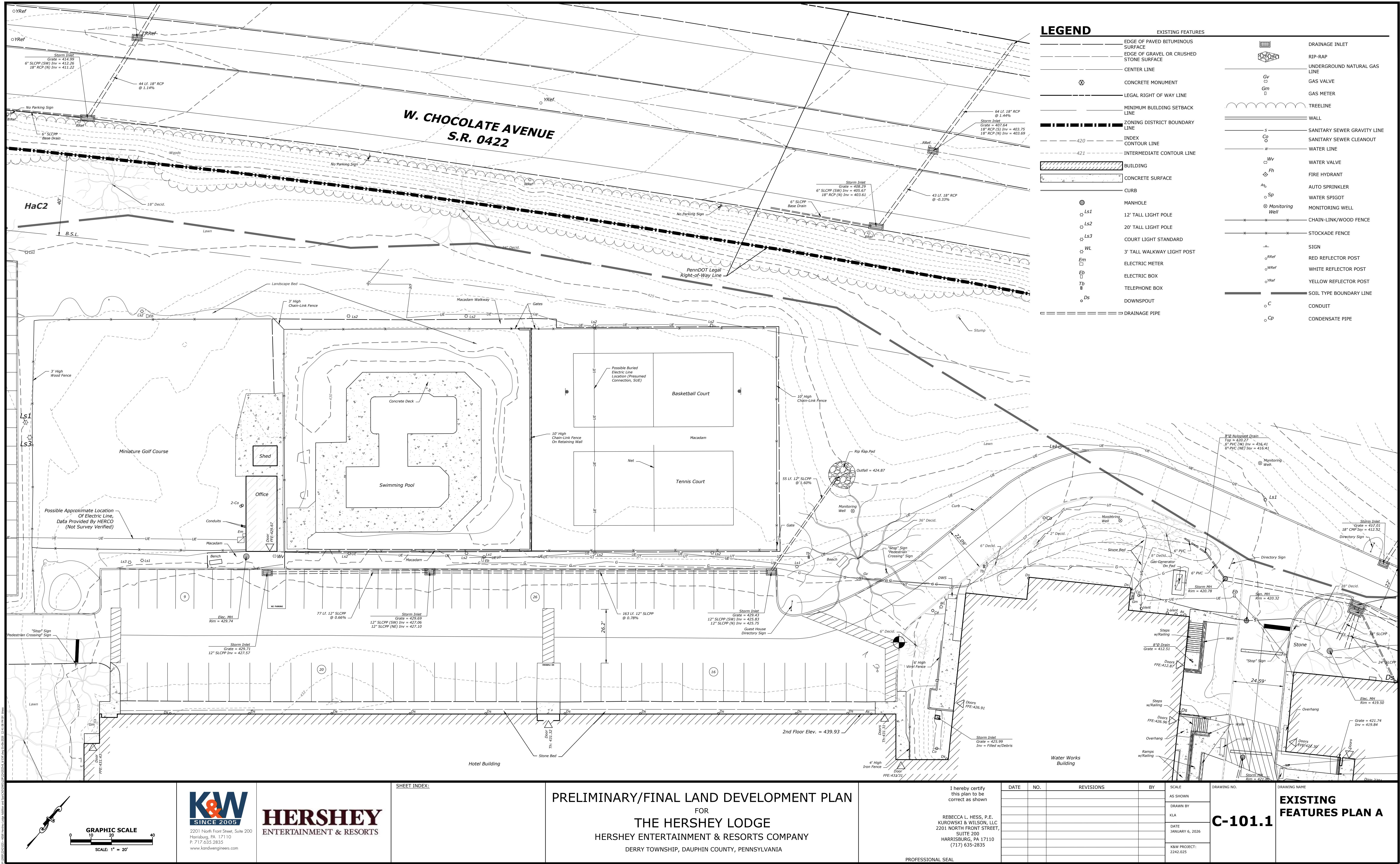
HERSHE
ENTERTAINMENT & RESO

1

**PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
THE HERSHEY LODGE
HERSHEY ENTERTAINMENT & RESORTS COMPANY**

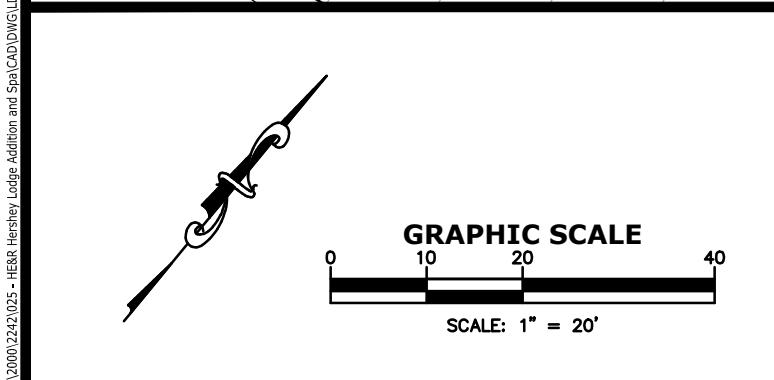
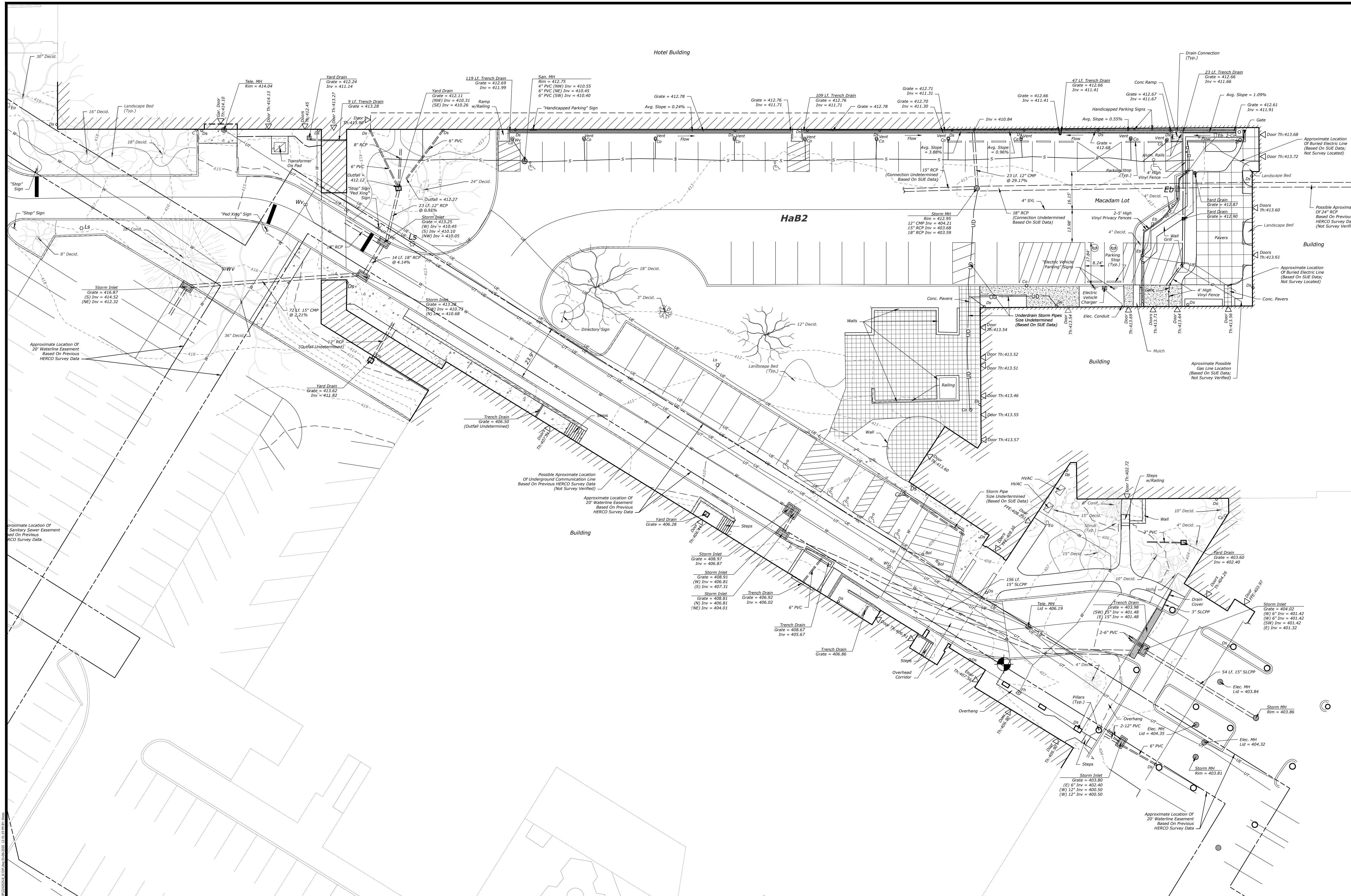
C-101

PROPERTY BOUNDARY AND EXISTING FEATURES PLAN



LEGEND

EDGE OF PAVED BITUMINOUS SURFACE
EDGE OF GRAVEL OR CRUSHED STONE SURFACE
CENTER LINE
CONCRETE MONUMENT
LEGAL RIGHT OF WAY LINE
MINIMUM BUILDING SETBACK LINE
ZONING DISTRICT BOUNDARY LINE
INDEX CONTOUR LINE
INTERMEDIATE CONTOUR LINE
BUILDING
CURB
MANHOLE
12' TALL LIGHT POLE
20' TALL LIGHT POLE
COURT LIGHT STANDARD
3' TALL WALKWAY LIGHT POST
ELECTRIC METER
ELECTRIC BOX
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DRAINAGE PIPE
DRAINAGE INLET
RIP-RAP
UNDERGROUND NATURAL GAS LINE
GAS VALVE
GAS METER
TREELINE
WALL
SANITARY SEWER GRAVITY LINE
SANITARY SEWER CLEANOUT
WATER LINE
WATER VALVE
FIRE HYDRANT
AUTO SPRINKLER
WATER SPIGOT
MONITORING WELL
CHAIN-LINK/WOOD FENCE
STOCKADE FENCE
SIGN
RED REFLECTOR POST
WHITE REFLECTOR POST
YELLOW REFLECTOR POST
SOIL TYPE BOUNDARY LINE
CONDENSATE PIPE



HERSHEY
ENTERTAINMENT & RESORTS

SHEET INDEX:

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR THE HERSHEY LODGE HERSHEY ENTERTAINMENT & RESORTS COMPANY DERRY TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA

I hereby certify this plan to be correct as shown

REBECCA L. HESS, P.E.
KUROWSKI & WILSON, LLC
2201 NORTH FRONT STREET,
SUITE 200
HARRISBURG, PA 17110
(717) 635-2835

PROFESSIONAL SEAL

DATE

NO.

REVISIONS

BY

SCALE

AS SHOWN

DRAWN BY

KLA

DATE

JANUARY 6, 2026

K&W PROJECT:

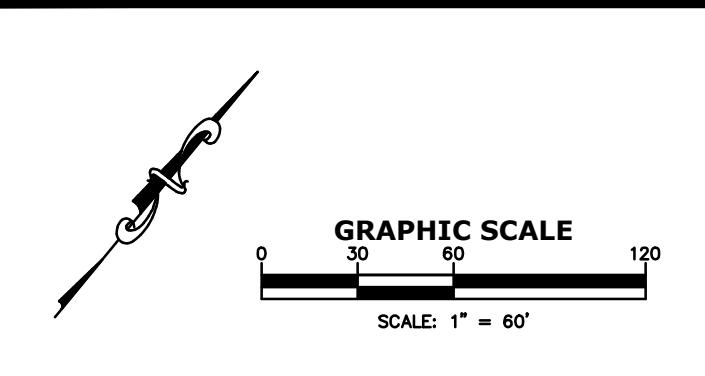
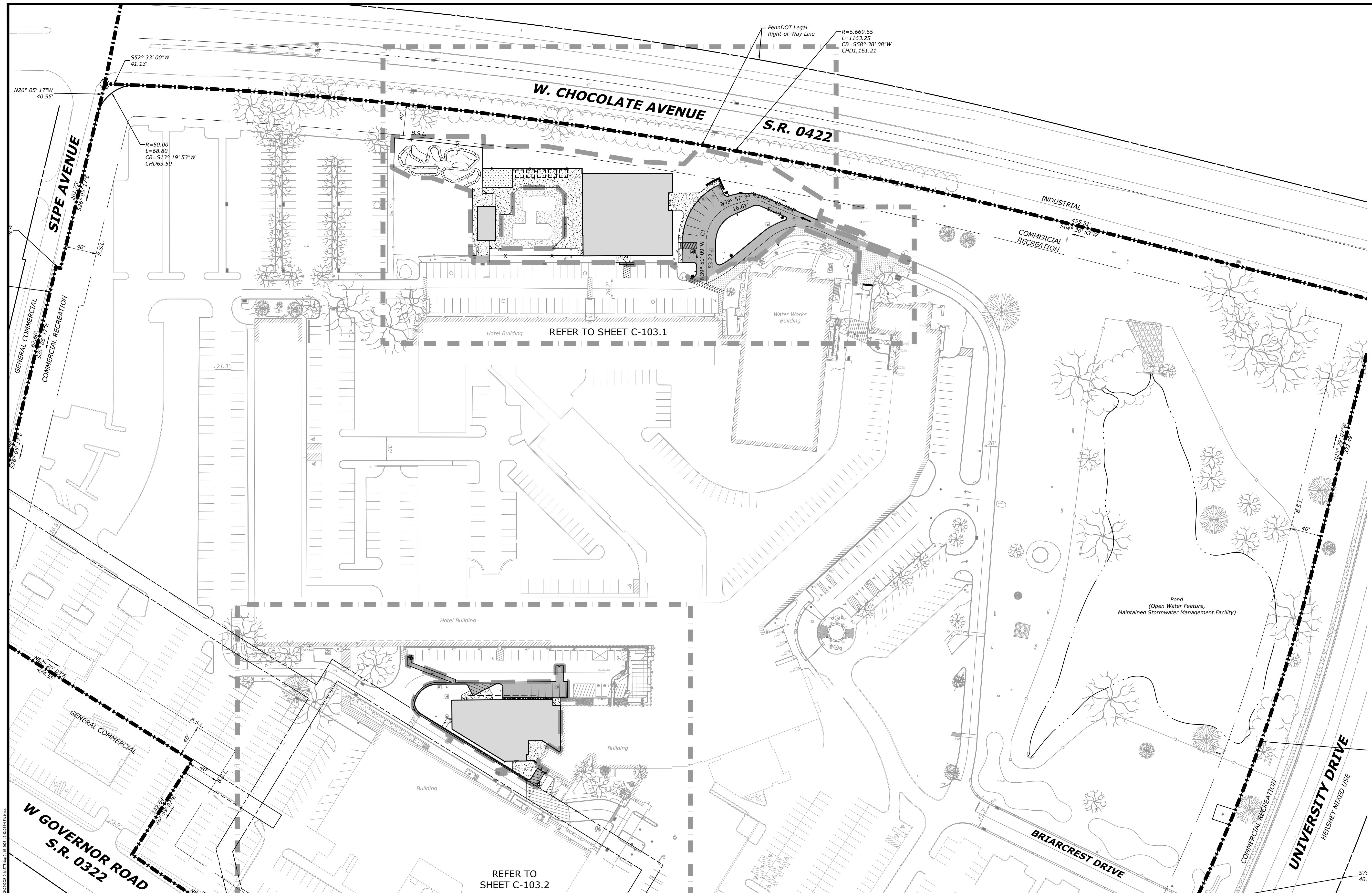
2242.025

DRAWING NO.

C-101.2

DRAWING NAME

EXISTING
FEATURES PLAN B



HERSHEY ENTERTAINMENT & RESORT

1

**PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
THE HERSHEY LODGE
HERSHEY ENTERTAINMENT & RESORTS COMPANY
DERBY TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA**

I hereby
this plan
correct and
true.

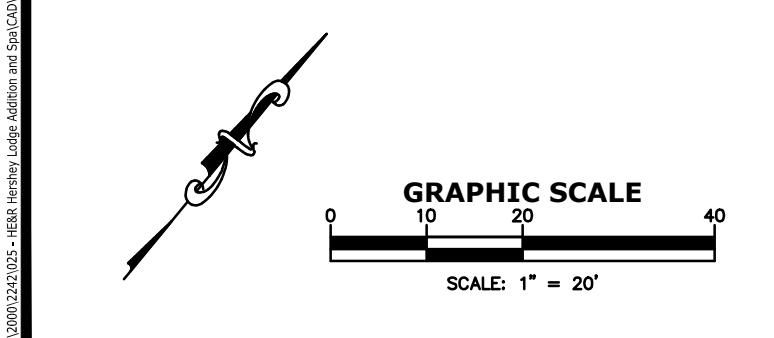
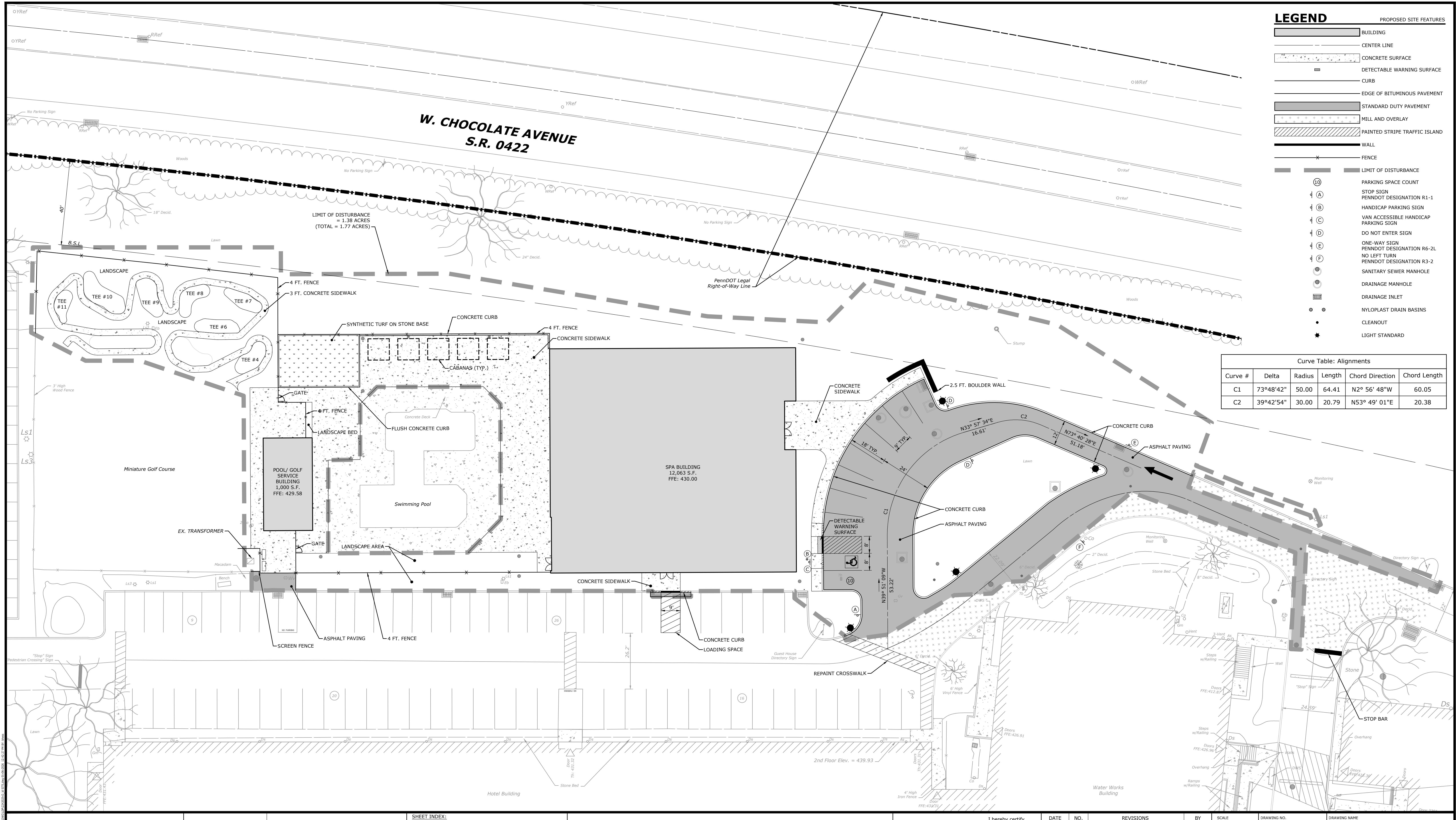
GEND

POSED SITE FEATURES

The legend consists of two columns. The left column contains symbols, and the right column contains their corresponding labels. The symbols include: a rectangle with diagonal lines for BUILDING; a dashed line for CENTER LINE; a rectangle with small circles for CONCRETE SURFACE; a rectangle with a small horizontal bar for DETECTABLE WARNING SURFACE; a horizontal line for CURB; a thick horizontal line for EDGE OF BITUMINOUS PAVEMENT; a dark grey rectangle for STANDARD DUTY PAVEMENT; a rectangle with '+' symbols for MILL AND OVERLAY; a rectangle with diagonal hatching for PAINTED STRIPE TRAFFIC ISLAND; a thick black line for WALL; a line with an 'X' for FENCE; a grey rectangle for LIMIT OF DISTURBANCE; a circle with '10' for PARKING SPACE COUNT; a circle with 'A' for STOP SIGN PENNDOT DESIGNATION R1-1; a circle with 'B' for HANDICAP PARKING SIGN; a circle with 'C' for VAN ACCESSIBLE HANDICAP PARKING SIGN; a circle with 'D' for DO NOT ENTER SIGN; a circle with 'E' for ONE-WAY SIGN PENNDOT DESIGNATION R6-2L; a circle with 'F' for NO LEFT TURN PENNDOT DESIGNATION R3-2; a circle with a stylized 'S' for SANITARY SEWER MANHOLE; a circle with a stylized 'D' for DRAINAGE MANHOLE; a rectangle with horizontal lines for DRAINAGE INLET; two small circles for NYLOPLAST DRAIN BASINS; a small circle for CLEANOUT; and a rectangle with a small circle for LIGHT STANDARD.

SITE PLAN NOTES

- REFER TO ARCHITECTURAL PLANS FOR SIZE, TYPE, AND EXACT LAYOUT OF EMERGENCY GENERATOR PAD, ELECTRICAL TRANSFORMER PAD, AND HVAC UNITS.
- REFER TO ARCHITECTURAL PLANS FOR CONCRETE PADS OUTSIDE OF EXTERIOR DOORWAYS.
- ALL RADII ARE 5 FEET, UNLESS SPECIFICALLY DIMENSIONED OTHERWISE WITHIN THE PLAN VIEW. THIS INCLUDES CURB RADII, RADII ON PROPOSED EDGES OF BITUMINOUS PAVEMENT, AND RADII INDICATED FOR PAVEMENT MARKINGS.
- N.I.C. = NOT IN CONTRACT
- SIGNS AND PAVEMENT MARKINGS SHALL COMPLY WITH PENNDOT PUBLICATION 408, SECTION 1103, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS AMENDED AND THESE DRAWINGS. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF ALL SIGNAGE PRIOR TO FABRICATION.



HERSHEY
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DERRY TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA**

I hereby certify this plan to be correct as shown.
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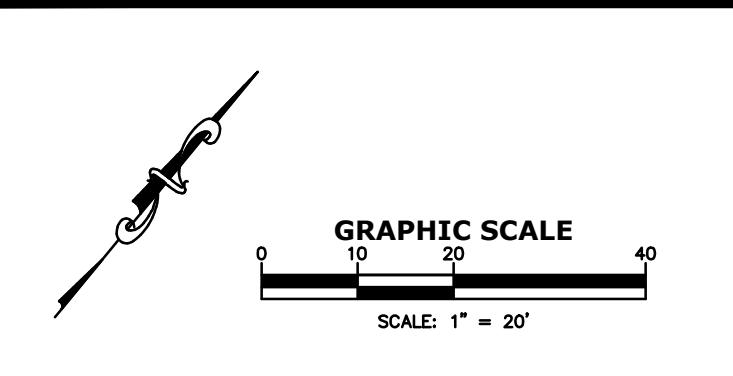
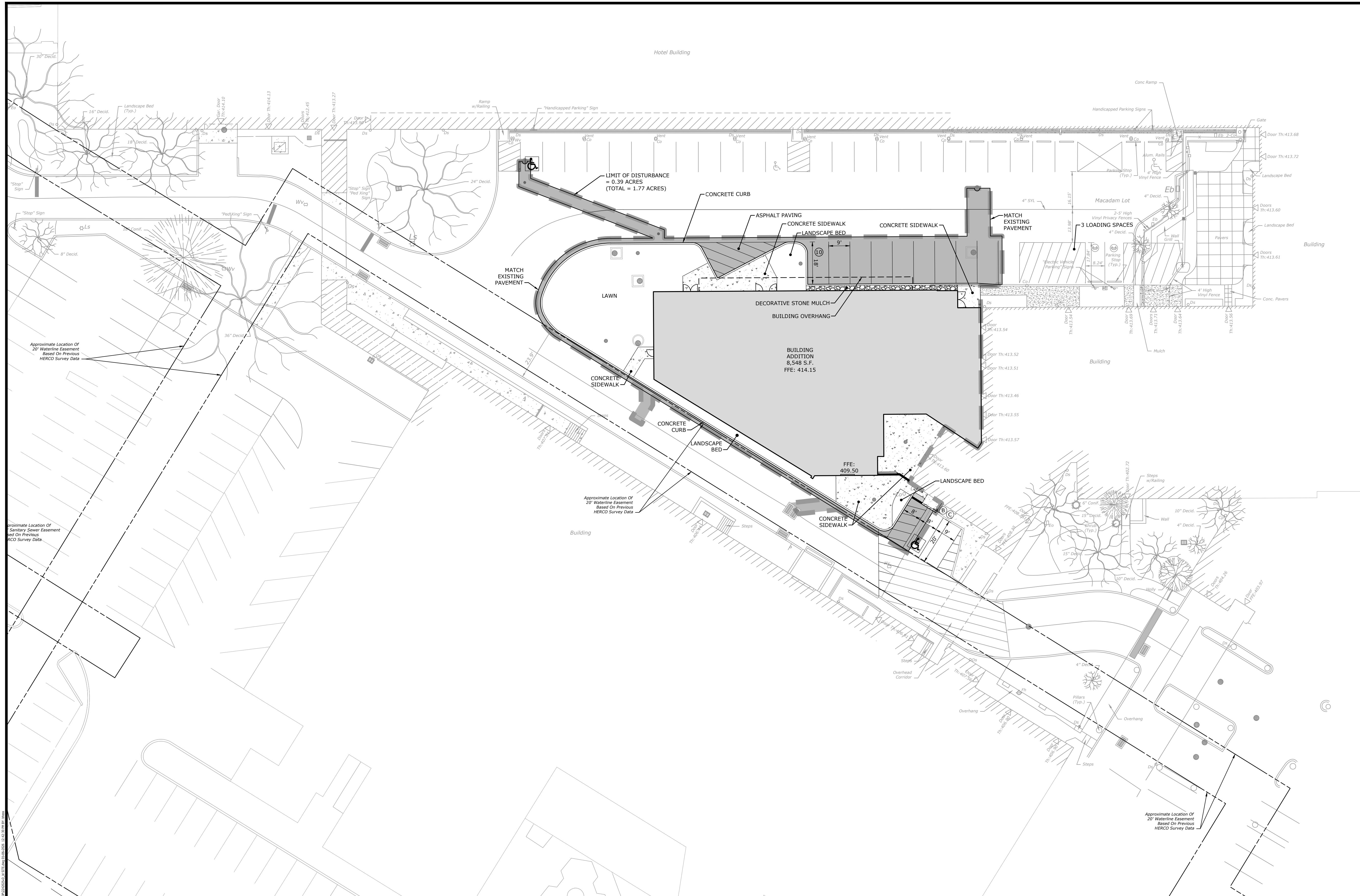
PROFESSIONAL SEAL

DATE	NO.	REVISIONS	BY
			SCALE AS SHOWN
			DRAWN BY KLA
			DATE JANUARY 6, 2026
			K&W PROJECT: 2242.025

DRAWING NO. **C-103.1**

DRAWING NAME
**SITE LAYOUT
PLAN A**

LEGEND		PROPOSED SITE FEATURES
		BUILDING
		CENTER LINE
		CONCRETE SURFACE
		DETECTABLE WARNING SURFACE
		CURB
		EDGE OF BITUMINOUS PAVEMENT
		STANDARD DUTY PAVEMENT
		MILL AND OVERLAY
		PAINTED STRIPE TRAFFIC ISLAND
		WALL
		FENCE
		LIMIT OF DISTURBANCE
		PARKING SPACE COUNT
		STOP SIGN
		PENNDOT DESIGNATION R1-1
		HANDICAP PARKING SIGN
		VAN ACCESSIBLE HANDICAP PARKING SIGN
		DO NOT ENTER SIGN
		ONE-WAY SIGN
		PENNDOT DESIGNATION R6-2L
		NO LEFT TURN
		PENNDOT DESIGNATION R3-2
		SANITARY SEWER MANHOLE
		DRAINAGE MANHOLE
		DRAINAGE INLET
		NYLOPLAST DRAIN BASINS
		CLEANOUT
		LIGHT STANDARD
⑩		LIMIT OF DISTURBANCE
Ⓐ		PARKING SPACE COUNT
Ⓑ		STOP SIGN
Ⓒ		PENNDOT DESIGNATION R1-1
Ⓓ		HANDICAP PARKING SIGN
Ⓔ		VAN ACCESSIBLE HANDICAP PARKING SIGN
Ⓕ		DO NOT ENTER SIGN
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Ⓘ		NO LEFT TURN
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Ⓜ		SANITARY SEWER MANHOLE
Ⓝ		DRAINAGE MANHOLE
Ⓣ		DRAINAGE INLET
Ⓛ		NYLOPLAST DRAIN BASINS
Ⓜ		CLEANOUT
Ⓣ		LIGHT STANDARD



HERSHE
ENTERTAINMENT & RESOR

SHEE

**PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
THE HERSHEY LODGE
HERSHEY ENTERTAINMENT & RESORTS COMPANY
DERRY TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA**

I hereby certifi-
cate that the
plan to
correct as sh-