

No: 26-015

DAUPHIN COUNTY SUBDIVISION/LAND DEVELOPMENT REVIEW REPORT

MunicipalityDerry Township

SurveyorBurkhard

Engineer/RLAHess

Plat TitleThe Hershey Lodge

Zoning DistrictCommercial Recreation

Proposed Land UseHotel, Conference Center

Plat Status:

Preliminary

Final

X P/F

Minor

Plat Type:

Subdivision

X Land Development

Regulations:

County

X Municipal

X Zoning

X S&LD

Existing # of Lots1

Proposed # of Lots1

Proposed # of New DUs0

Subdivided / Developed Acres1.77

Total Acres44.08

Date Received01/09/26

Staff Review

01/28/26

Official County Review

01/28/26

Reviewed byDMK

Checked by

Tax Map Parcel #24-029-019

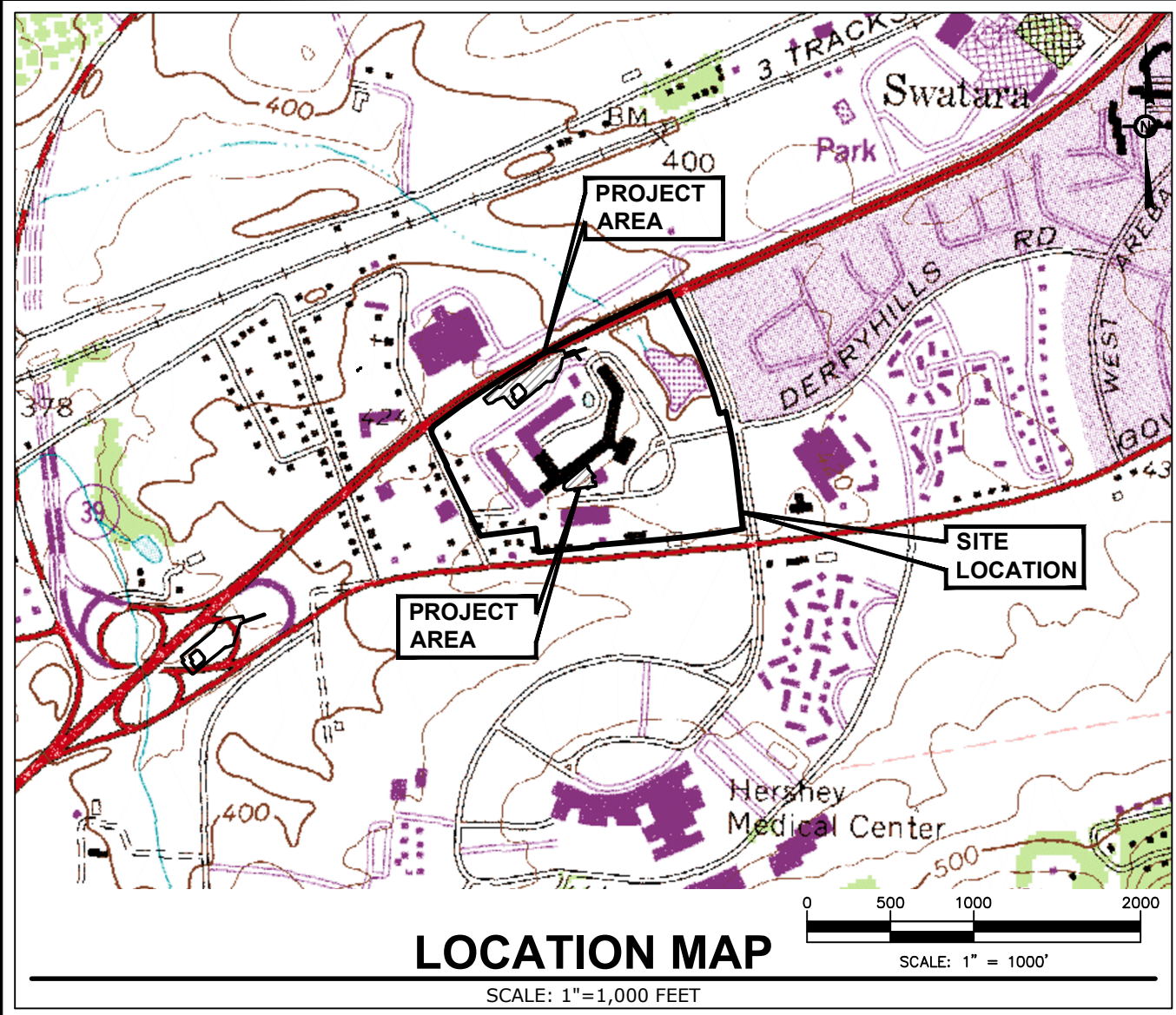
- When applicable, streets, sewer, water, storm drainage, and other infrastructure elements to be verified as adequate by municipal staff/engineer. Any improvement guarantees shall be posted prior to final plat approval.
- Registered PA Land Surveyor is required to certify all lot/tract boundary descriptions.
- When applicable, zoning compliance to be verified by Municipal Zoning Officer.
- Appropriate sewage module component should be processed prior to final plat approval.
- Final plats must be recorded within 90 days of approval.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Commission.

- The following certifications, signatures and approvals (or approved waivers) are required prior to plan recording:
 - Surveyor/engineer name, seal and signature [S-LD §185-13E(4a)(32, 33)]
 - Ownership and dedicatory statements with notarization [S-LD §185-13E(4a)(46, 47)]
 - Erosion and sedimentation control [S-LD §185-13E(4a)22]
 - Stormwater management plan [S-LD §185-13E(5f);185-26]
 - DEP sewage planning module [S/LD – §185-13E(5b)]
 - Lighting plan and professional certification [S-LD §185-33E]
- Note location of nearest fire hydrant. Provide data substantiating minimum fire hydrant flow, availability, recharge and duration requirements [S-LD §185-12D(4g); §185-36B (7)].
- Provide any other reasonable data the Township may require to evaluate the proposal [S-LD §185-13E(5f)].

Plan No. 26-015

Plat Specifications	Yes	No	N/A
1. Name of proposed subdivision/land development shown	✓		
2. Owner/developer name, address & telephone number shown	✓		
3. Municipality name shown	✓		
4. Tax parcel number/Deed reference shown/Instrument #	✓		
5. North point shown	✓		
6. Map scale shown (written/graphic) (waiver requested)	✓		
7. Date of plan preparation shown	✓		
8. Certification of surveyor/engineer shown (need seals, signatures)	✓		
9. Location map shown	✓		
10. Total property map (bearings, distances, area, primary control point) shown	✓	(no pcp)	
11. Names of adjacent landowners/subdivision shown	✓		
12. Lot numbers shown (tax parcel #)	✓		
13. Lot dimensions shown			✓
14. Lot areas shown	✓		
15. Permanent monuments and markers shown (waiver requested)	✓		
16. Building setbacks shown	✓		
17. Existing natural features shown - Wetlands			✓
Floodplains			✓
Woodlands, streams			✓
18. Contours at required interval shown	✓		
19. Easements shown and identified	✓		
20. Existing man-made features shown - Building (s)	✓		
Storm drainage facilities	✓		
Sewer mains	✓		
Water mains	✓		
21. Proposed man-made features shown – Building (s)	✓		
Storm drainage facilities	✓		
Sewer disposal – public (✓) on-lot ()	✓		
Water supply – public (✓) well ()	✓		
22. Existing streets shown - Name	✓		
R/W width	✓		
Paving width	✓		
Dedicated R/W width	✓		
23. Proposed streets shown - Name			✓
R/W width			✓
Paving width			✓
Profiles (waiver requested - utilities)	✓		
24. Curbs shown (waiver requested)	✓		
25. Sidewalks shown (deferment requested)	✓		
26. Existing and proposed coverage shown	✓		
27. Parking schedule provided shown	✓		
28. Traffic study completed (waiver requested – info provided)			✓
29. Recreation area shown/fee in-lieu-of provided			✓
30. Erosion and sedimentation control plan shown	✓		
31. Statement of ownership, signature and notarization shown (needs sign/notar)	✓		
32. Dedicatory statement shown			✓
33. Approval blocks shown	✓		
34. PADOT Highway Occupancy Permit statement shown	✓		
35. Consistency with Future Land Use plans - County plans	✓		
Municipal plans	✓		



PRELIMINARY/ FINAL LAND DEVELOPMENT PLAN

THE HERSHEY LODGE

FOR

HERSHEY ENTERTAINMENT & RESORTS COMPANY

DERRY TOWNSHIP

DAUPHIN COUNTY, PENNSYLVANIA

LANDOWNER / APPLICANT

HERSHEY ENTERTAINMENT & RESORTS COMPANY
108 CHOCOLATE WORLD WAY
HERSHEY, PA 17033

TELEPHONE: 717.534.3179
CONTACT: BRAD KIRKHAM, P.E., CWI, DIRECTOR OF ENGINEERING

SITE ENGINEER / PLAN PREPARER

KUROWSKI & WILSON, LLC
2201 NORTH FRONT STREET, SUITE 200
HARRISBURG, PA 17110

TELEPHONE: 717.635.2835
CONTACT: JENNIFER LEE, PLA

SITE SURVEYOR

KUROWSKI & WILSON, LLC
2201 NORTH FRONT STREET, SUITE 200
HARRISBURG, PA 17110

TELEPHONE: 717.635.2835
CONTACT: DENNIS P. BURKHARD, P.L.S.

UTILITY INFORMATION

THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996 FOR NOTIFICATION OF UTILITIES BEFORE EXCAVATION IN CONTRACT AREA. THE UNDERGROUND UTILITIES LOCATION CALL NUMBER IS 1-800-242-1776.

PA ONE-CALL SERIAL NUMBER: 20252612826 (DESIGN TICKET)
THE FOLLOWING UTILITY FACILITY OWNERS WERE NOTIFIED BY THE PA ONE-CALL SYSTEM, INC.

CABLE PROTECTION SERVICES INC
ADDRESS: PO BOX 4816
MIDLOTHIAN, VA 23112
CONTACT: DEBBIE KING
EMAIL: DEBBIE.KING@CABLEPS.COM

PENNSYLVANIA AMERICAN WATER
ADDRESS: 200 CANAL STREET
HUMMELSTOWN, PA 17036
CONTACT: MICHAEL RAGER
EMAIL: MICHAEL.RAGER@AMWATER.COM

CROWN CASTLE
ADDRESS: 1590 CORPORATE DR
CANONSBURG, PA 15317
CONTACT: FIBER DIG TEAM PERSONNEL
EMAIL: FIBER.DIG@CROWNCastle.COM

PPL ELECTRIC UTILITIES CORPORATION
ADDRESS: 437 BLUE CHURCH ROAD
PAXINOS, PA 17860
CONTACT: DOUG HAUPT
EMAIL: DLHAUPT@PPLWEB.COM

DERRY TOWNSHIP MUN AUTH/DERRY TOWNSHIP
ADDRESS: 670 CLEARWATER ROAD
HERSHEY, PA 17033
CONTACT: MICHAEL STOTLER
EMAIL: MSTOTLER@DTMA.COM

VERISON NORTH
ADDRESS: 31 S BEAVER ST
YORK, PA 17401
CONTACT: DAVID NEWMASTER
EMAIL: DAVE.NEWMISTER@VERIZON.COM

PENNSYLVANIA ELECTRIC CO
ADDRESS: 341 WHITE POND DR
AKRON, OH 44320
CONTACT: MELLYSSA ADAMS
EMAIL: MADAMS@FIRSTENERGYCORP.COM

UGI UTILITIES INC
ADDRESS: 1301 A 1 P DRIVE
MIDDLETOWN, PA 17057
CONTACT: GEOFFREY FERGUSON
EMAIL: GFERGUSON@UGI.COM

ZONING DATA

ZONING DISTRICT: (CR) COMMERCIAL RECREATION			
PROPOSED USE: HOTEL AND CONFERENCE CENTER			
REQUIREMENT:	REQUIRED:	EXISTING:	PROPOSED:
MINIMUM LOT AREA:	TWO ACRES	1,920,056 SQ. FT. / 44.08 ACRES	1,920,056 SQ. FT. / 44.08 ACRES
MINIMUM LOT WIDTH:	200 FEET	1,525 FEET	1,525 FEET
MINIMUM LOT DEPTH:	200 FEET	± 796 FEET	± 796 FEET
FRONT YARD SETBACK:	40 FEET* / 25 FEET**	>40 FEET* / >25 FEET**	>40 FEET* / >25 FEET**
SIDE YARD SETBACK:	40 FEET* / 20 FEET**	>40 FEET* / >20 FEET**	>40 FEET* / >20 FEET**
REAR YARD SETBACK:	40 FEET* / 25 FEET**	>40 FEET* / >25 FEET**	>40 FEET* / >25 FEET**
MAXIMUM BUILDING HEIGHT:	95 FEET	37 FEET	< 95 FEET 36'-0" SPA BUILDING 15'-0" POOL/GOLF SERVICE BUILDING 46'-0" COCOA TERRACE ADDITION
MAXIMUM IMPERVIOUS *** COVERAGE:	60% (1,152,034 SF, 26.45 AC) 70% (1,344,039 SF, 30.85 AC)	± 59.17 ± 1,136,168 SF ± 26.08 AC	59.62% ± 1,144,818 SF ± 26.28 AC
MINIMUM VEGETATIVE COVERAGE:	30% (576,017 SF, 13.22 AC)	± 36.25% ± 696,089 SF ± 15.98 AC	± 35.80% ± 687,439 SF ± 15.78 AC
FLOOR AREA NON-RESIDENTIAL:		499,364 SF 11.46 AC	SPA BUILDING 12,063 SF, 0.28 AC POOL/GOLF SERVICE BUILDING 1,000 SF, 0.02 AC COCOA TERRACE 17,401 SF, 0.40 AC TOTAL 529,828 SF, 12.16 AC
OTHER PVIOUS COVERAGE:	N/A	± 4.58% ±87,868 SF ± 2.02 ACS	± 4.58% ±87,868 SF ± 2.02 ACS
* PRINCIPAL BUILDING / ** ACCESSORY STRUCTURE / *** MASTER PLAN REVIEW/APPROVAL ALLOWS UP TO AN ADDITIONAL 10% IN IMPERVIOUS COVERAGE			

SITE DATA

TAX PARCEL:	24-029-019
DEED REF. / INSTRUMENT #:	20080006188
EXISTING LOT AREA:	1,920,056 SQ. FT. / 44.08 ACRES
PROPOSED SEWAGE DISPOSAL:	PUBLIC (DERRY TOWNSHIP MUNICIPAL AUTHORITY)
PROPOSED WATER SUPPLY:	PUBLIC (PA AMERICAN WATER COMPANY)

PARKING DATA

EXISTING PARKING PROVIDED: 1,849 SPACES

PARKING REQUIRED: 1,701 TOTAL SPACES MAXIMUM *

PARKING PROPOSED: 1,843 SPACES

* SEE SHARED PARKING CAPACITY ANALYSIS AS PREPARED BY KUROWSKI & WILSON, LLC, DATED JANUARY 6, 2025.

SHEET INDEX

LAND DEVELOPMENT PLANS	
Sheet Number	Sheet Title
C-001	COVER SHEET
C-002	PCSM SUPPORTING INFORMATION
C-003	PCSM SUPPORTING INFORMATION
C-004	E&S PLAN SUPPORTING INFORMATION
C-005	E&S SUPPORTING INFORMATION
C-100	SENSITIVE RESOURCES MAP
C-100.1	NET DEVELOPABLE AREA PLAN
C-101	OVERALL PROPERTY BOUNDARY AND EXISTING FEATURES PLAN
C-101.1	EXISTING FEATURES PLAN A
C-101.2	EXISTING FEATURES PLAN B
C-102	OVERALL DEMOLITION PLAN
C-102.1	DEMOLITION PLAN A
C-102.2	DEMOLITION PLAN B
C-103	OVERALL SITE LAYOUT PLAN
C-103.1	SITE LAYOUT PLAN A
C-103.2	SITE LAYOUT PLAN B
C-104	OVERALL GRADING PLAN
C-104.1	GRADING PLAN A
C-104.2	GRADING PLAN B
C-105	OVERALL PCSM PLAN
C-105.1	PCSM PLAN A
C-105.2	PCSM PLAN B
C-106	OVERALL UTILITY PLAN
C-106.1	UTILITY PLAN A
C-106.2	UTILITY PLAN B
C-107	OVERALL LANDSCAPE PLAN
C-107.1	LANDSCAPE PLAN A
C-107.2	LANDSCAPE PLAN B
C-301	STORM PROFILES
C-302	STORM PROFILES
C-401	SANITARY PROFILES
C-501	SITE DETAILS
C-502	SITE DETAILS
C-503	UTILITY DETAILS
C-601	PCSM DETAILS
C-602	PCSM DETAILS
C-603	PCSM DETAILS
C-604	PCSM DETAILS
C-605	PCSM DETAILS
C-606	PCSM DETAILS
C-607	PCSM DETAILS
C-701	OVERALL EROSION AND SEDIMENTATION CONTROL PLAN
C-701.1	EROSION AND SEDIMENTATION CONTROL PLAN A
C-701.2	EROSION AND SEDIMENTATION CONTROL PLAN B
C-702	E&S DETAILS
C-703	E&S DETAILS

GENERAL NOTES

- THE PURPOSE OF THIS PLAN IS TO DEVELOP A BUILDING ADDITION WITH CONFERENCE ROOM SPACE AND A STAND-ALONE SPA BUILDING. IMPROVEMENTS TO THE MINI-GOLF AND EXTERIOR POOL ARE ALSO INCLUDED WITH THE PROJECT ON THE HERSHEY LODGE PROPERTY, 325 UNIVERSITY DRIVE, HERSHEY, PA 17033. THE PROJECT WILL INCLUDE UTILITY AND STORMWATER INFRASTRUCTURE AND LANDSCAPING.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITY LINES PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES. KUROWSKI AND WILSON, L.L.C. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND UTILITIES AS DEPICTED HEREON. ANY REQUEST FOR ADDITIONAL UTILITY INFORMATION SHOULD BE DIRECTED TO THE APPROPRIATE UTILITY COMPANY.
- THE SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR.
- THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT ACCURATE TITLE SEARCH MAY DISCLOSE. EXISTING EASEMENTS REFERENCED IN RECORDED DOCUMENTS ARE SHOWN ON SURVEY.
- NO ROADWAYS WILL BE OFFERED FOR DEDICATION AS PART OF THIS PROJECT. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE OWNERSHIP AND MAINTENANCE OF THE POST CONSTRUCTION STORMWATER MANAGEMENT FACILITIES.
- ALL PIPES ENTERING OR EXITING INLETS SHALL BE CUT FLUSH WITH THE INLET WALL.
- INLETS SHALL NOT HAVE A SUMP CONDITION IN THE BOTTOM (UNLESS DESIGNED AS A WATER QUALITY BMP). OUTLET PIPES SHALL BE FLUSH WITH THE BOTTOM OF THE BOX OR CONCRETE CHANNELS SHALL BE POURED.
- INLETS, MANHOLES, PIPES, AND CULVERTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH IN PENNDOT'S PUBLICATION 408, LATEST EDITION, AND AS DETAILED IN PENNDOT'S PUBLICATION 72M - STANDARDS FOR ROADWAY CONSTRUCTION (RC), LATEST EDITION, OR AS APPROVED BY THE TOWNSHIP ENGINEER.
- ALL FRAMES, CONCRETE TOP UNITS, AND GRADE ADJUSTMENT RINGS SHALL BE SET IN A BED OF FULL MORTAR ACCORDING TO PUBLICATION 408, LATEST EDITION.
- THE STORMWATER MANAGEMENT BMP OPERATION AND MAINTENANCE (O&M) AGREEMENT FOR THIS PROJECT IS TO BE CONSIDERED A PART OF THIS PLAN WHETHER OR NOT IT APPEARS HEREON.
- AN AS-BUILT DRAWING SHALL BE PROVIDED FOR ALL STORMWATER MANAGEMENT FACILITIES PRIOR TO THE RELEASE OF FINANCIAL SECURITY FOR SAID FACILITIES.
- TOWNSHIP OFFICIALS, DTMA, AND THEIR AGENTS OR EMPLOYEES HAVE THE RIGHT OF ACCESS TO THE PROPERTY FROM THE PUBLIC RIGHT-OF-WAY FOR INSPECTION OF AND, IN CASES OF CONSTRUCTION DEFAULT, CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES.
- NOTHING SHALL BE PLACED, PLANTED, OR SET WITHIN AN EASEMENT OR RIGHT-OF-WAY WHICH WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR RIGHT-OF-WAY, OR CONFLICT WITH ANY CONDITIONS ASSOCIATED WITH SUCH EASEMENT OR RIGHT-OF-WAY, EXCEPT AS INDICATED.
- NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY EXISTING STORMWATER BMP, FACILITIES, AREAS, OR STRUCTURES UNLESS IT IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE TOWNSHIP.
- NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, OR VEGETATION INTO A STORMWATER BMP, FACILITIES, AREAS, STRUCTURES, OR WITHIN A DRAINAGE EASEMENT THAT WOULD LIMIT OR ALTER THE FUNCTIONING OF THE BMP WITHOUT THE WRITTEN APPROVAL OF THE TOWNSHIP.
- THE DEVELOPER/CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A MINIMUM 24 - HOURS NOTICE AND TO COORDINATE WITH THE TOWNSHIP/TOWNSHIP ENGINEER IN REGARDS TO ALL MUNICIPAL INSPECTION WORK REQUIRED ON THE PROJECT SITE.
- THE OWNER SHALL BE RESPONSIBLE FOR THE CONTINUED FUNCTIONALITY AND REQUIRED MAINTENANCE OF THE STORMWATER BMP FACILITIES.
- THE APPROVED SWM SITE PLAN SHALL BE ON FILE AT THE PROJECT SITE THROUGHOUT THE DURATION OF THE CONSTRUCTION ACTIVITY.
- PUBLIC WATER AND SEWER TO BE PROVIDED BY PA AMERICAN WATER AND DERRY TOWNSHIP MUNICIPAL AUTHORITY RESPECTIVELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ANY DEBRIS AND FLUSH OUT ALL PROPOSED STORM DRAINAGE FACILITIES WITHIN THE PROJECT LIMITS AT THE COMPLETION OF CONSTRUCTION.
- INLETS MUST BE SIZED TO ACCEPT THE SPECIFIED PIPE SIZES WITHOUT KNOCKING OUT ANY OF THE INLET CORNERS.
- NO KNOWN SINKHOLES EXIST WITHIN PROXIMITY OF THE PROJECT AREAS.
- WHERE APPLICABLE, CONSTRUCTION SHALL CONFORM TO PENNDOT PUBLICATIONS 408 AND 72 STANDARDS AND DERRY TOWNSHIP ORDINANCES.
- A 20' WIDE BLANKET EASEMENT SHALL BE PROVIDED FOR ALL STORMWATER FACILITIES, MEASURED 10 FT. ON EITHER SIDE OF THE CENTERLINE OF PIPE OR EXTENDED 20 FT. PAST THE OUTSIDE EDGE OF A STORMWATER FACILITY SUCH AS A BASIN. TOWNSHIP OR THEIR DESIGNEE SHALL HAVE ACCESS FOR PERIODIC INSPECTION OF STORMWATER FACILITIES VIA THE NEAREST PUBLIC RIGHT-OF-WAY.
- ALL STORMWATER MANAGEMENT FACILITIES AND SANITARY SEWER FACILITIES SHALL REMAIN PRIVATELY OWNED, OPERATED, AND MAINTAINED.
- NO PLAT WHICH WILL REQUIRE ACCESS TO A HIGHWAY UNDER THE JURISDICTION OF THE DEPARTMENT OF TRANSPORTATION SHALL BE FINALLY APPROVED UNLESS THE PLAT CONTAINS A NOTICE THAT A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO § 420 OF THE ACT OF JUNE 1, 1945, (P.L. 1242, No. 428), KNOWN AS THE STATE HIGHWAY LAW, BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED.
- LOADING SPACES WILL BE PROVIDED FOR EACH NEW AREA AND THE EXISTING LOADING, TRASH, AND DELIVERY PATTERN WILL REMAIN UNCHANGED.

LANDOWNER

I, _____, HEREBY ACKNOWLEDGE THAT THE STORMWATER BMP'S ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY THE TOWNSHIP.

IN THE EVENT THAT A CLAIM IS ASSERTED AGAINST THE TOWNSHIP, ITS DESIGNED REPRESENTATIVES, OR EMPLOYEES, THE TOWNSHIP SHALL PROMPTLY NOTIFY THE LANDOWNER AND THE LANDOWNER SHALL DEFEND, AT HIS OWN EXPENSE, AND SUIT BASED ON THE CLAIM. IF ANY JUDGEMENT OR CLAIMS AGAINST THE TOWNSHIP'S EMPLOYEES OR DESIGNATED REPRESENTATIVES SHALL BE ALLOWED, THE LANDOWNER SHALL PAY ALL COSTS AND EXPENSES REGARDING SAID JUDGEMENT OR CLAIM.

WETLAND NOTE

I, _____, _____ DATE

BRADLY GOCHNAUER

HEREBY CERTIFY THAT THERE ARE NO WETLANDS IN THE AREA OF PROPOSED DEVELOPMENT ON THE SUBJECT PROPERTY. THE PROPOSED PROJECT WILL NOT IMPACT OFF-SITE WETLANDS, AND WETLAND FILL PERMITS ARE NOT REQUIRED FROM THE STATE OR FEDERAL GOVERNMENT.

QUALIFIED DESIGN PROFESSIONAL

I, _____, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE TOWNSHIP OF DERRY STORMWATER MANAGEMENT ORDINANCE, CHAPTER 174.

MODIFICATION REQUESTS

MODIFICATION REQUESTED:	
§174-17.C(2)	Minimum Pipe Size
§185-12.D(3)(a)[9]	Features Within Total Lot Boundary and 200ft Beyond (Preliminary)
§185-13.E(4)(a)[9]	Features Within Total Lot Boundary and 50ft Beyond (Final)
§185-12.D(3)(a)[21]	Existing Stormwater Systems Plan/Profile (Preliminary)
§185-13.E(4)(a)[19]	Existing Stormwater Systems Plan/Profile (Final)
§185-12.D(3)(a)[22]	Existing Sanitary Sewer Systems Plan/Profile (Preliminary)
§185-13.E(4)(a)[20]	Existing Sanitary Sewer Systems Plan/Profile (Final)
§185-12.D(3)(a)[23]	Existing Water/Gas Systems Plan/Profile (Preliminary)
§185-13.E(4)(a)[21]	Existing Water/Gas Systems Plan/Profile (Final)
§185-12.D(3)(a)[35]	2ft Contours Within Total Lot Boundary and 200ft Beyond (Preliminary)
§185-13.E(4)(a)[36]	2ft Contours Within Total Lot Boundary and 50ft Beyond (Final)
§185-12.D(3)(a)[37]	Illustrate Existing Restrictions Within Total Lot Boundary (Preliminary)
§185-13.E(4)(a)[38]	Illustrate Existing Restrictions Within Total Lot Boundary (Final)
§185-12.D(2)	Plans Drawn at a Scale of 1"=50'
§185-13.E(3)	Plans Drawn at a Scale of 1"=50'
§185-34.A.1	Provide Sidewalks along Public Streets (Deferment for Side Avenue)
§185-12.D(4)	Traffic Impact Study
§185-18	Monuments and Markers
§185-22.D(2)	Providing rights of way/cartway
§185-22.D(3)	Providing rights of way/cartway
§185-31	Shade Trees
§185-22.E(5)	Providing Curbs

TOWNSHIP OF DERRY

PLAT NO. 1418
SUBMISSION DATE

1 6 2026
MO. DAY YEAR

REVISION DATE

MO. DAY YEAR

MO. DAY YEAR

MO. DAY YEAR

MO. DAY YEAR

C. Emerick

Director of Community Development

Commonwealth of Pennsylvania
County of Dauphin : SS

On this _____ day of _____, 2026, before me, the undersigned officer, personally appeared Leslie A. Ferraro, who acknowledged herself to be Vice President, Chief Marketing Officer for Hershey Entertainment & Resorts Company, who being duly sworn according to law deposes and says that Hershey Entertainment & Resorts Company, is the owner of the property shown on this plan, and acknowledges the same to be the act and plan of Hershey Entertainment & Resorts Company, which desires the same to be recorded as such according to law.

Sworn to and subscribed before me the date and year aforesaid:

NOTARY PUBLIC

My commission expires: _____

It is hereby certified that the undersigned is the equitable owner of the property shown on the within plat.

Hershey Entertainment & Resorts Company:

By: _____

Leslie A. Ferraro
27 West Chocolate Avenue
Hershey, PA 17033
Telephone: 717.534.3131

This plan reviewed by the Dauphin County Planning Commission

This _____ day of _____, 20____

Chairman: _____

Secretary: _____

This plan recommended for approval by the Derry Township Planning Commission

This _____ day of _____, 20____

Chairman: _____

Secretary: _____

This plan approved by the Derry Township Supervisors

This _____ day of _____, 20____

Chairman: _____

Secretary: _____

HERSHEY
ENTERTAINMENT & RESORTS

SURVEYOR

I hereby certify this plan to be correct as shown

DENNIS P. BURKHARD, P.L.S.
KUROWSKI & WILSON, LLC
2201 NORTH FRONT STREET,
SUITE 200
HARRISBURG, PA 17110
(717) 635-2835

PROFESSIONAL SURVEYOR

ENGINEER

I hereby certify this plan to be correct as shown

REBECCA L. HESS, P.E.
KUROWSKI & WILSON, LLC
2201 NORTH FRONT STREET,
SUITE 200
HARRISBURG, PA 17110
(717) 635-2835

PROFESSIONAL ENGINEER

PRELIMINARY/ FINAL LAND DEVELOPMENT PLAN
FOR
THE HERSHEY LODGE
HERSHEY ENTERTAINMENT & RESORTS COMPANY

DERRY TOWNSHIP

DAUPHIN COUNTY, PA

SCALE:
AS SHOWN

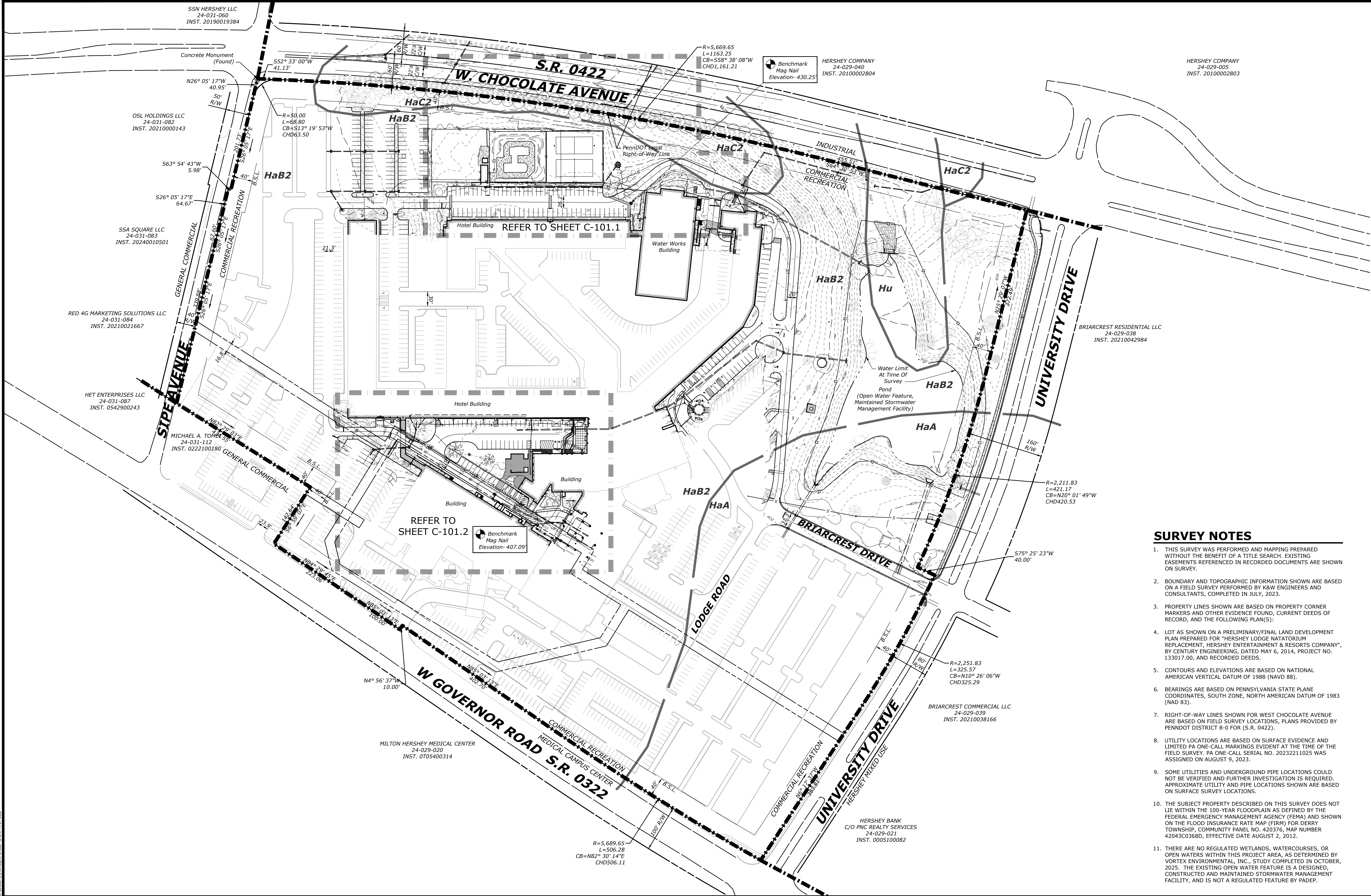
DRAWN BY:
KLA

DATE:
JANUARY 6, 2026

K&W PROJECT:
2242-025

DRAWING NO.:

C-001



LEGEND

EXISTING FEATURES	
	EDGE OF PAVED BITUMINOUS SURFACE
	EDGE OF GRAVEL OR CRUSHED STONE SURFACE
	CENTER LINE
	CONCRETE MONUMENT
	LEGAL RIGHT OF WAY LINE
	MINIMUM BUILDING SETBACK LINE
	ZONING DISTRICT BOUNDARY LINE
	INDEX CONTOUR LINE
	INTERMEDIATE CONTOUR LINE
	BUILDING
	CONCRETE SURFACE
	CURB
	MANHOLE
	12' TALL LIGHT POLE
	20' TALL LIGHT POLE
	COURT LIGHT STANDARD
	3' TALL WALKWAY LIGHT POST
	ELECTRIC METER
	ELECTRIC BOX
	TELEPHONE BOX
	DOWNSPOUT
	DRAINAGE PIPE
	DRAINAGE INLET
	RIP-RAP
	UNDERGROUND NATURAL GAS LINE
	GAS VALVE
	GAS METER
	TREELINE
	WALL
	SANITARY SEWER GRAVITY LINE
	SANITARY SEWER CLEANOUT
	WATER LINE
	WATER VALVE
	FIRE HYDRANT
	AUTO SPRINKLER
	WATER SPIGOT
	MONITORING WELL
	CHAIN-LINK/WOOD FENCE
	STOCKADE FENCE
	SIGN
	RED REFLECTOR POST
	WHITE REFLECTOR POST
	YELLOW REFLECTOR POST
	SOIL TYPE BOUNDARY LINE
	CONDUIT
	CONDENSATE PIPE

SURVEY NOTES

- THIS SURVEY WAS PERFORMED AND MAPPING PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH. EXISTING EASEMENTS REFERENCED IN RECORDED DOCUMENTS ARE SHOWN ON SURVEY.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY K&W ENGINEERS AND CONSULTANTS, COMPLETED IN JULY, 2023.
- PROPERTY LINES SHOWN ARE BASED ON PROPERTY CORNER MARKERS AND OTHER EVIDENCE FOUND, CURRENT DEEDS OF RECORD, AND THE FOLLOWING PLAN(S):
- LOT AS SHOWN ON A PRELIMINARY/FINAL LAND DEVELOPMENT PLAN PREPARED FOR "HERSHEY LODGE NATATORIUM REPLACEMENT, HERSHEY ENTERTAINMENT & RESORTS COMPANY", BY CENTURY ENGINEERING, DATED MAY 6, 2014, PROJECT NO. 133017.00, AND RECORDED DEEDS.
- CONTOURS AND ELEVATIONS ARE BASED ON NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- BEARINGS ARE BASED ON PENNSYLVANIA STATE PLANE COORDINATES, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
- RIGHT-OF-WAY LINES SHOWN FOR WEST CHOCOLATE AVENUE ARE BASED ON FIELD SURVEY LOCATIONS, PLANS PROVIDED BY PENNDOT DISTRICT 8-0 FOR (S.R. 0422).
- UTILITY LOCATIONS ARE BASED ON SURFACE EVIDENCE AND LIMITED PA ONE-CALL MARKINGS EVIDENT AT THE TIME OF THE FIELD SURVEY. PA ONE-CALL SERIAL NO. 20232211025 WAS ASSIGNED ON AUGUST 9, 2023.
- SOME UTILITIES AND UNDERGROUND PIPE LOCATIONS COULD NOT BE VERIFIED AND FURTHER INVESTIGATION IS REQUIRED. APPROXIMATE UTILITY AND PIPE LOCATIONS SHOWN ARE BASED ON SURFACE SURVEY LOCATIONS.
- THE SUBJECT PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN THE 100-YEAR FLOODPLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR DERRY TOWNSHIP, COMMUNITY PANEL NO. 420376, MAP NUMBER 42043C0368D, EFFECTIVE DATE AUGUST 2, 2012.
- THERE ARE NO REGULATED WETLANDS, WATERCOURSES, OR OPEN WATERS WITHIN THIS PROJECT AREA, AS DETERMINED BY VORTEX ENVIRONMENTAL, INC., STUDY COMPLETED IN OCTOBER, 2025. THE EXISTING OPEN WATER FEATURE IS A DESIGNED, CONSTRUCTED AND MAINTAINED STORMWATER MANAGEMENT FACILITY, AND IS NOT A REGULATED FEATURE BY PADEP.

SOILS INFORMATION

HaA	Hagerstown Silt Loam, 0 To 3 Percent Slopes [HYDROLOGIC GROUP B]
HaB2	Hagerstown Silt Loam, 3 To 8 Percent Slopes [HYDROLOGIC GROUP B]
HaC2	Hagerstown Silt Loam, 8 To 15 Percent Slopes [HYDROLOGIC GROUP B]
Hu	Huntington Silt Loam, Local Alluvium [HYDROLOGIC GROUP B]

2201 North Front Street, Suite 200
Harrisburg, PA 17110
P. 717.635.2835
www.kandwengineers.com

SHEET INDEX:

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
THE HERSHEY LODGE
HERSHEY ENTERTAINMENT & RESORTS COMPANY
DERRY TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA

I hereby certify
this plan to be
correct as shown

REBECCA L. HESS, P.E.
KUROWSKI & WILSON, LLC
2201 NORTH FRONT STREET,
SUITE 200
HARRISBURG, PA 17110
(717) 635-2835

PROFESSIONAL SEAL

DATE	NO.	REVISIONS	BY

SCALE

AS SHOWN

DRAWN BY

KIA

DATE

JANUARY 6, 2026

K&W PROJECT:

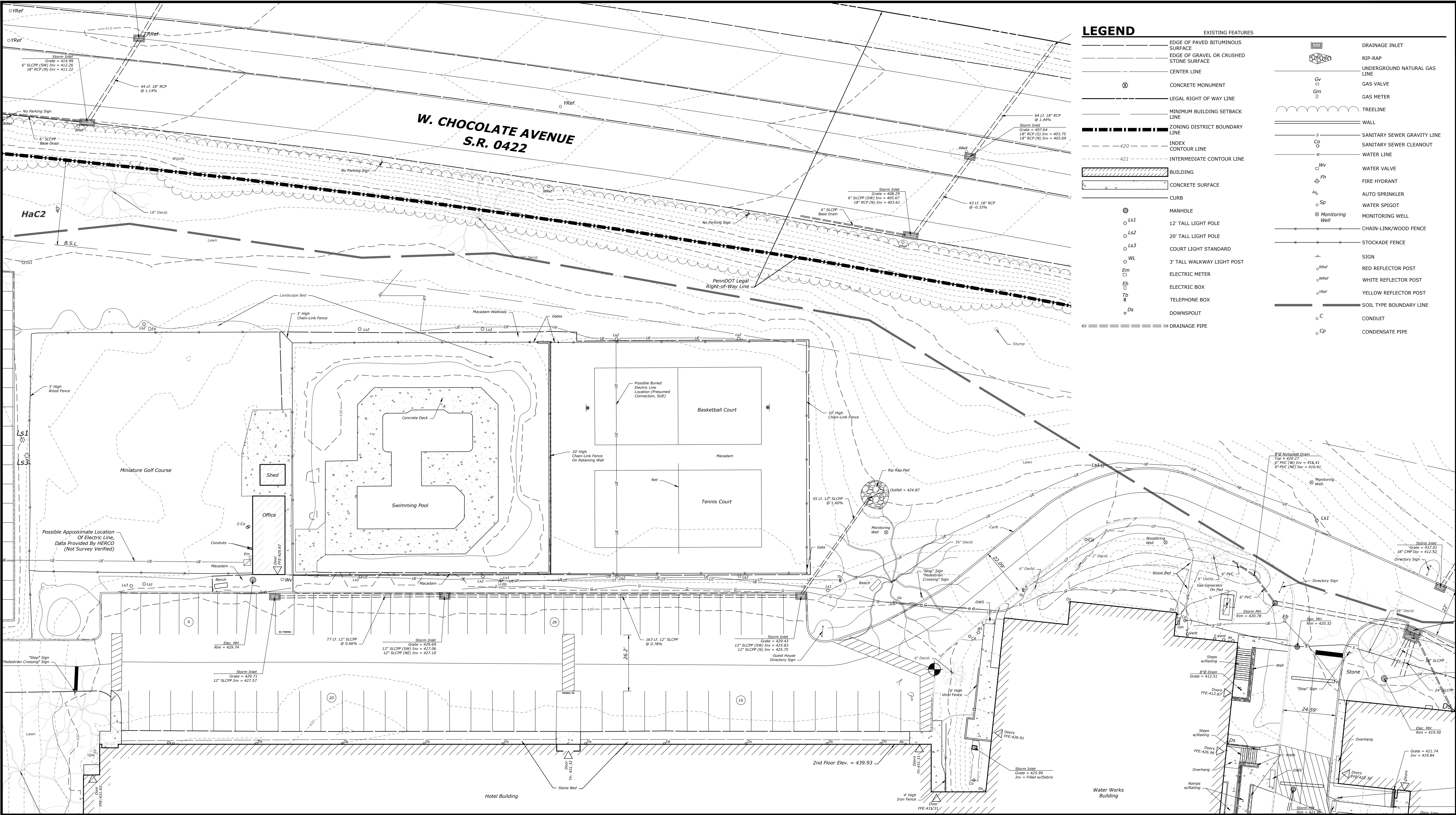
2242.025

DRAWING NO.

C-101

DRAWING NAME

**OVERALL
PROPERTY
BOUNDARY AND
EXISTING
FEATURES PLAN**



LEGEND

EXISTING FEATURES	
EDGE OF PAVED BITUMINOUS SURFACE	DRAINAGE INLET
EDGE OF GRAVEL OR CRUSHED STONE SURFACE	RIP-RAP
CENTER LINE	UNDERGROUND NATURAL GAS LINE
CONCRETE MONUMENT	GAS VALVE
LEGAL RIGHT OF WAY LINE	GAS METER
MINIMUM BUILDING SETBACK LINE	TREELINE
ZONING DISTRICT BOUNDARY LINE	WALL
INDEX CONTOUR LINE	SANITARY SEWER GRAVITY LINE
INTERMEDIATE CONTOUR LINE	SANITARY SEWER CLEANOUT
BUILDING	WATER LINE
CONCRETE SURFACE	WATER VALVE
CURB	FIRE HYDRANT
MANHOLE	AUTO SPRINKLER
12' TALL LIGHT POLE	WATER SPIGOT
20' TALL LIGHT POLE	MONITORING WELL
COURT LIGHT STANDARD	CHAIN-LINK/WOOD FENCE
3' TALL WALKWAY LIGHT POST	STOCKADE FENCE
ELECTRIC METER	SIGN
ELECTRIC BOX	RED REFLECTOR POST
TELEPHONE BOX	WHITE REFLECTOR POST
DOWNSPOUT	YELLOW REFLECTOR POST
DRAINAGE PIPE	SOIL TYPE BOUNDARY LINE
	CONDUIT
	CONDENSATE PIPE

SHEET INDEX:

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
THE HERSHEY LODGE
HERSHEY ENTERTAINMENT & RESORTS COMPANY
DERRY TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA

I hereby certify this plan to be correct as shown

REBECCA L. HESS, P.E.
KUROWSKI & WILSON, LLC
2201 NORTH FRONT STREET,
SUITE 200
HARRISBURG, PA 17110
(717) 635-2835

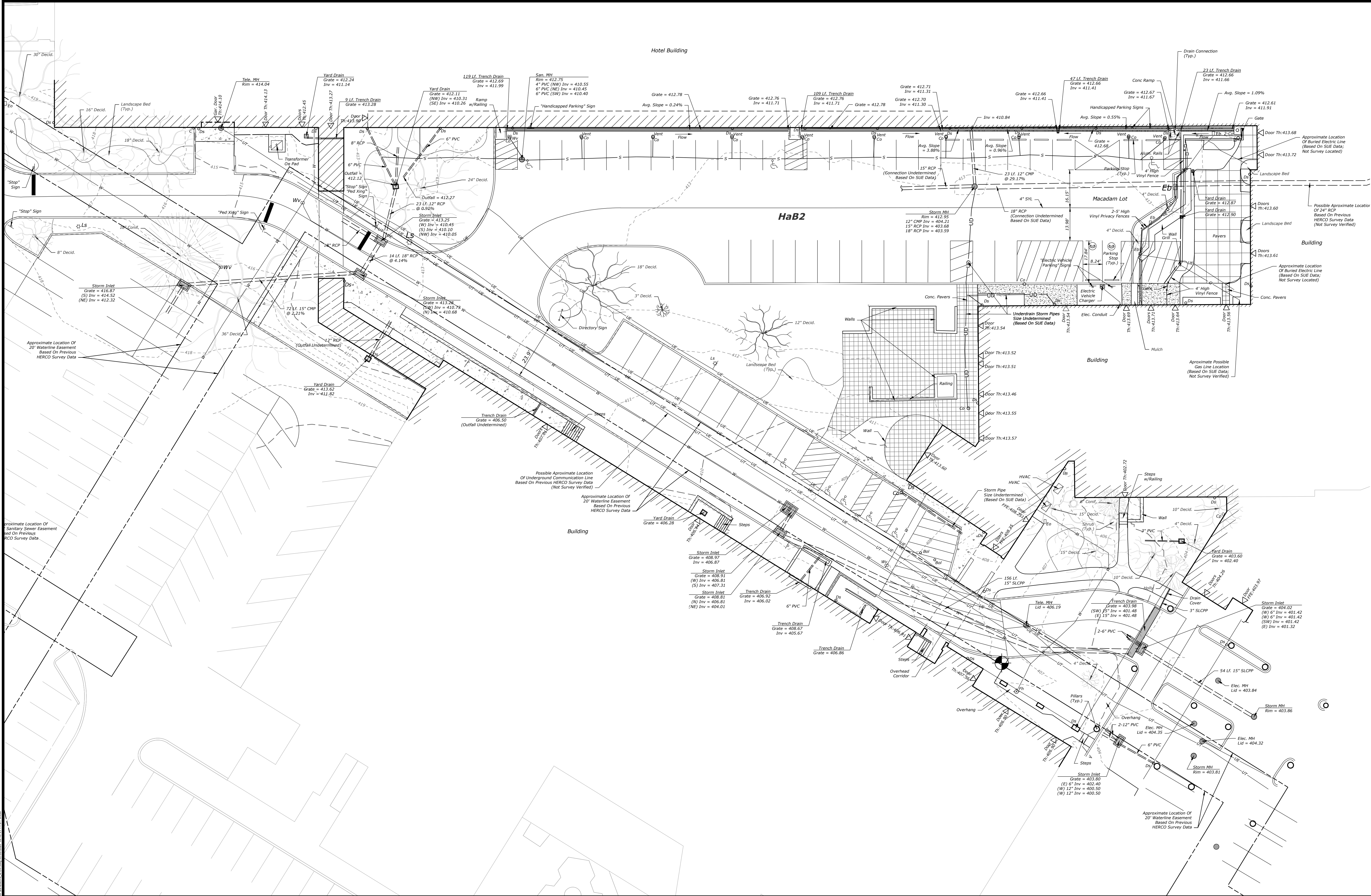
PROFESSIONAL SEAL

DATE	NO.	REVISIONS	BY

SCALE: AS SHOWN
DRAWN BY: KLA
DATE: JANUARY 6, 2026
K&W PROJECT: 2242.025

DRAWING NO. **C-101.1**

DRAWING NAME **EXISTING FEATURES PLAN A**



LEGEND

- EXISTING FEATURES
- EDGE OF PAVED BITUMINOUS SURFACE
 - EDGE OF GRAVEL OR CRUSHED STONE SURFACE
 - CENTER LINE
 - CONCRETE MONUMENT
 - LEGAL RIGHT OF WAY LINE
 - MINIMUM BUILDING SETBACK LINE
 - ZONING DISTRICT BOUNDARY LINE
 - INDEX CONTOUR LINE
 - INTERMEDIATE CONTOUR LINE
 - BUILDING
 - CONCRETE SURFACE
 - CURB
 - MANHOLE
 - 12' TALL LIGHT POLE
 - 20' TALL LIGHT POLE
 - COURT LIGHT STANDARD
 - 3' TALL WALKWAY LIGHT POST
 - ELECTRIC METER
 - ELECTRIC BOX
 - TELEPHONE BOX
 - DOWNSPOUT
 - DRAINAGE PIPE
 - DRAINAGE INLET
 - RIP-RAP
 - UNDERGROUND NATURAL GAS LINE
 - GAS VALVE
 - GAS METER
 - TREELINE
 - WALL
 - SANITARY SEWER GRAVITY LINE
 - SANITARY SEWER CLEANOUT
 - WATER LINE
 - WATER VALVE
 - FIRE HYDRANT
 - AUTO SPRINKLER
 - WATER SPIGOT
 - MONITORING WELL
 - CHAIN-LINK/WOOD FENCE
 - STOCKADE FENCE
 - SIGN
 - RED REFLECTOR POST
 - WHITE REFLECTOR POST
 - YELLOW REFLECTOR POST
 - SOIL TYPE BOUNDARY LINE
 - CONDUIT
 - CONDENSATE PIPE

GRAPHIC SCALE

0 10 20 40

SCALE: 1" = 20'

2201 North Front Street, Suite 200
Harrisburg, PA 17110
P. 717.635.2835
www.kandwengineers.com

SHEET INDEX:

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
THE HERSHEY LODGE
HERSHEY ENTERTAINMENT & RESORTS COMPANY
DERRY TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA

I hereby certify
this plan to be
correct as shown

REBECCA L. HESS, P.E.
KUROWSKI & WILSON, LLC
2201 NORTH FRONT STREET,
SUITE 200
HARRISBURG, PA 17110
(717) 635-2835

PROFESSIONAL SEAL

DATE	NO.	REVISIONS	BY

SCALE

AS SHOWN

DRAWN BY

KLA

DATE

JANUARY 6, 2026

K&W PROJECT:

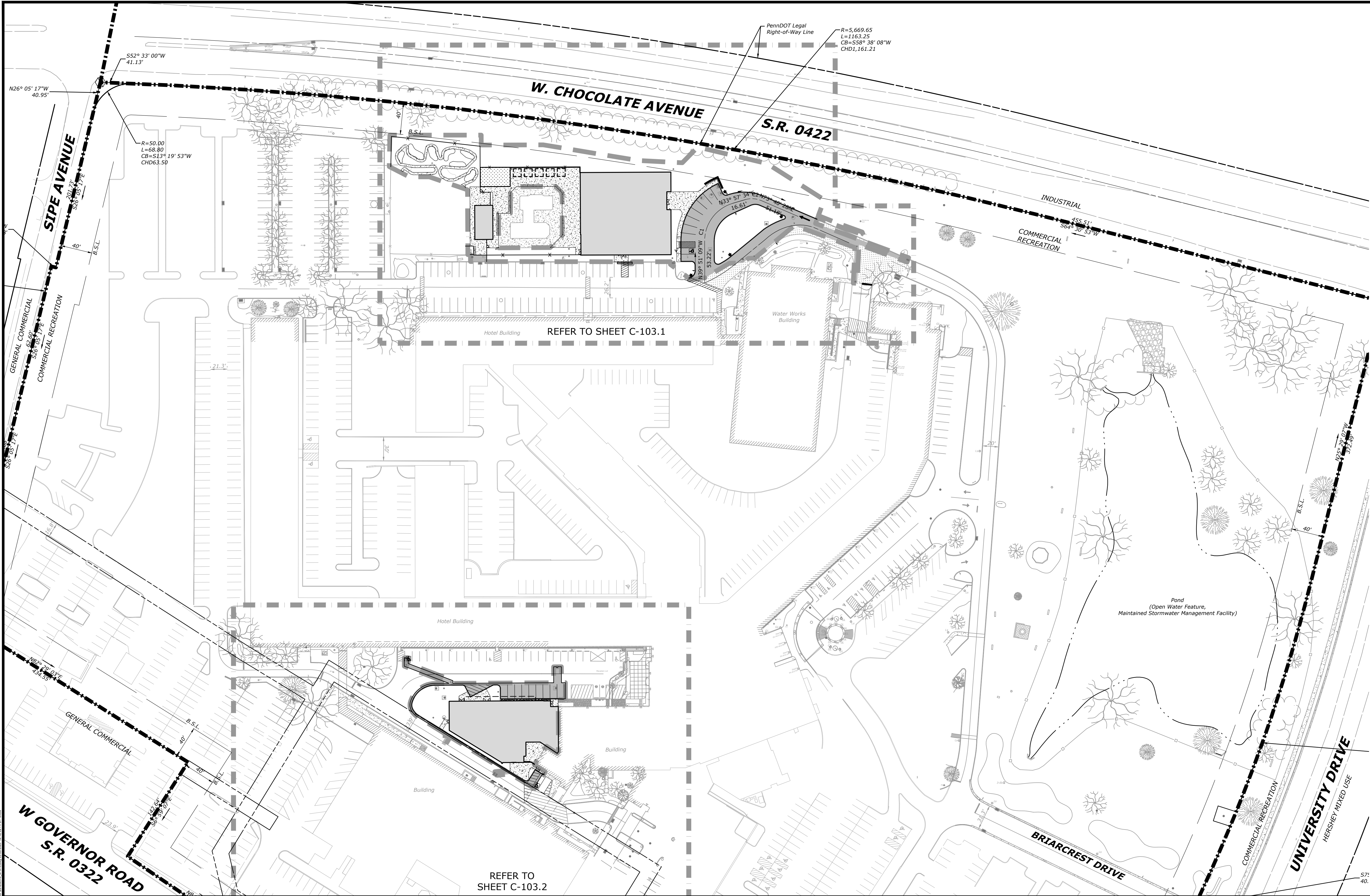
2242.025

DRAWING NO.

C-101.2

DRAWING NAME

EXISTING
FEATURES PLAN B



LEGEND

- PROPOSED SITE FEATURES
- BUILDING
 - CENTER LINE
 - CONCRETE SURFACE
 - DETECTABLE WARNING SURFACE
 - CURB
 - EDGE OF BITUMINOUS PAVEMENT
 - STANDARD DUTY PAVEMENT
 - MILL AND OVERLAY
 - PAINTED STRIPE TRAFFIC ISLAND
 - WALL
 - FENCE
 - LIMIT OF DISTURBANCE
 - PARKING SPACE COUNT
 - STOP SIGN
 - PENNDOT DESIGNATION R1-1
 - HANDICAP PARKING SIGN
 - VAN ACCESSIBLE HANDICAP PARKING SIGN
 - DO NOT ENTER SIGN
 - ONE-WAY SIGN
 - PENNDOT DESIGNATION R6-2L
 - NO LEFT TURN
 - PENNDOT DESIGNATION R3-2
 - SANITARY SEWER MANHOLE
 - DRAINAGE MANHOLE
 - DRAINAGE INLET
 - NYLOPLAST DRAIN BASINS
 - CLEANOUT
 - LIGHT STANDARD

SITE PLAN NOTES

- REFER TO ARCHITECTURAL PLANS FOR SIZE, TYPE, AND EXACT LAYOUT OF EMERGENCY GENERATOR PAD, ELECTRICAL TRANSFORMER PAD, AND HVAC UNITS.
- REFER TO ARCHITECTURAL PLANS FOR CONCRETE PADS OUTSIDE OF EXTERIOR DOORWAYS.
- ALL RADII ARE 5 FEET, UNLESS SPECIFICALLY DIMENSIONED OTHERWISE WITHIN THE PLAN VIEW. THIS INCLUDES CURB RADII, RADII ON PROPOSED EDGES OF BITUMINOUS PAVEMENT, AND RADII INDICATED FOR PAVEMENT MARKINGS.
- N.I.C. = NOT IN CONTRACT
- SIGNS AND PAVEMENT MARKINGS SHALL COMPLY WITH PENNDOT PUBLICATION 408, SECTION 1103, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS AMENDED AND THESE DRAWINGS. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF ALL SIGNAGE PRIOR TO FABRICATION.
- MAXIMUM SIDEWALK CROSS SLOPE = 2%.

GRAPHIC SCALE
0 30 60 120
SCALE: 1" = 60'

2201 North Front Street, Suite 200
Harrisburg, PA 17110
P: 717.635.2835
www.kandwengineers.com

HERSHEY
ENTERTAINMENT & RESORTS

SHEET INDEX:

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR THE HERSHEY LODGE HERSHEY ENTERTAINMENT & RESORTS COMPANY DERRY TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA
--

I hereby certify this plan to be correct as shown

REBECCA L. HESS, P.E.
KUROWSKI & WILSON, LLC
2201 NORTH FRONT STREET,
SUITE 200
HARRISBURG, PA 17110
(717) 635-2835

PROFESSIONAL SEAL

DATE	NO.	REVISIONS	BY

SCALE
AS SHOWN
DRAWN BY
KLA
DATE
JANUARY 6, 2026
K&W PROJECT:
2242.025

DRAWING NO.
C-103

DRAWING NAME
OVERALL SITE LAYOUT PLAN

