

DAUPHIN COUNTY SUBDIVISION/LAND DEVELOPMENT REVIEW REPORT

Municipality	<u>West Hanover Township</u>		Surveyor	<u>Cornerstone Consulting</u>		Engineer	<u>Cornerstone Consulting</u>	
Plat Title	<u>Wendy's Linglestown</u>							
Zoning District	<u>Neighborhood Commercial (NC)</u>			Proposed Land Use	<u>Residential</u>			
Plat Status:	<u> </u> Preliminary	Plat Type:	<u> X </u> Subdivision	Regulations:	<u> </u> County			
	<u> </u> Final				<u> X </u> Municipal			
	<u> X </u> P/F		<u> X </u> Land Development		<u> X </u> Zoning			
	<u> </u> Minor				<u> X </u> S&LD			
Existing # of Lots	<u> 1 </u>	Proposed # of Lots	<u> 1 </u>	Proposed # of New DUs	<u> 1 </u>	Subdivided / Developed Acres	<u> 1.03 </u>	Total Acres <u> 1.03 </u>
Date Received	<u> 03/07/24 </u>	Staff Review	<u> 03/20/24 </u>	Official County Review	<u> 03/20/24 </u>			
Reviewed by	<u> BW </u>	Checked by	<u> </u>	Tax Map Parcel #	<u> 68-020-028 </u>			

- *When applicable, streets, sewer, water, storm drainage, and other infrastructure elements to be verified as adequate by municipal staff/engineer. Any improvement guarantees shall be posted prior to final plat approval.*
- *Registered PA Land Surveyor is required to certify all lot/tract boundary descriptions.*
- *When applicable, zoning compliance to be verified by Municipal Zoning Officer.*
- *Appropriate sewage module component should be processed prior to final plat approval.*
- *Final plats must be recorded within 90 days of approval.*

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Commission.

1. The following certifications, signatures, and approvals (**or** approved waivers) are required prior to plan recording:
 - a. Ownership and dedicatory statements with notarization [S-LD §173-13B(19)]
2. Drainage conditions should be depicted in the "Driveway Profile" drawing [S-LD §173-13B(3)] to show driveway will not impede the flow of stormwater runoff [S-LD §173-25L(1)].
3. A covenant with the land shall be included on the final plan assuring the implementation by the lot owners of the erosion and sedimentation control plan and approved D/SWM plan [S-LD §173-11B(3k)]. The Township shall verify that the note adequately serves the covenant requirement.
4. The Township engineer is required to certify, in writing, that the clear sight distance standards have been met [S-LD §173 – 15-C-3-B]
5. Certificates of agreement to provide service from applicable utility companies (Electric, etc.) [S-LD §173 – 15-C-16]
6. Sidewalks appear to only be located on the eastern side of the access point of the site. It is recommended that sidewalks also be installed along the western side of the site along S.R.0039. [S-LD §173 – 27]
7. All landscaping that occurs on the site shall be in accordance with Section 195-403-C of the West Hanover Township Zoning Ordinance.
8. Lighting for the site shall be in accordance with Section 195-415 of the West Hanover Township Zoning Ordinance.
9. What use was the total proposed parking spaces derived from? Was it based off the "Eating Places" use? If 30 spaces are required, what is the additional need for the 4 spots to have 34 total proposed spots? Has a parking schedule been submitted to the township to ensure adequate but not excessive parking is proposed? [S-LD § 195-418-D-1]

- a. A minimum of 1 shade tree shall be required for every 8 parking spaces. [S-LD § 195-E-9-B]

10. Is the plan being submitted as a Preliminary or Final plan or a Preliminary / Final? If it is submitted as a Final Plan, has the appropriate waiver been requested for the Preliminary Plan requirements? Clarification on what the plan is submitted as could be displayed on the cover sheet for reference.
11. The ADA / Handicapped parking spaces that are located along the building could become inaccessible if the drive thru backs up passed the handicapped parking spaces. To ensure the Handicapped parking spaces are always accessible and not blocked, it is recommended they be moved to where the "Delivery Pick up" spaces are instead of beside the "Mobile Order Pick-up." Moving the Delivery Pick up spaces beside the Mobile order pick up would allow for safer access to the ADA spaces.
12. Has a lot circulation plan been completed to ensure traffic will flow efficiently through the site? It appears there could be access issues to the "Mobile Order Pick Up" spots due to them becoming blocked by the Drive-thru line. Is there an alternative spot on the site to locate these parking spaces?

Plan No. 24-026

Plat Specifications	Yes	No	N/A
1. Name of proposed subdivision/land development shown	✓		
2. Owner/developer name, address & telephone number shown	✓		
3. Municipality name shown	✓		
4. Tax parcel number/Deed reference shown/Instrument #	✓		
5. North point shown	✓		
6. Map scale shown (written/graphic)	✓		
7. Date of plan preparation shown	✓		
8. Certification of surveyor/engineer shown	✓		
9. Location map shown	✓		
10. Total property map (bearings, distances, area, primary control point) shown	✓		
11. Names of adjacent landowners/subdivision shown	✓		
12. Lot numbers shown		✓	
13. Lot dimensions shown	✓		
14. Lot areas shown	✓		
15. Permanent monuments and markers shown		✓	
16. Building setbacks shown	✓		
17. Existing natural features shown - Wetlands			✓
Floodplains			✓
Woodlands, streams			✓
18. Contours at required interval shown	✓		
19. Easements shown and identified	✓		
20. Existing man-made features shown - Building (s)	✓		
Storm drainage facilities	✓		
Sewer mains	✓		
Water mains	✓		
21. Proposed man-made features shown - Building (s)	✓		
Storm drainage facilities	✓		
Sewer disposal – public(✓) on-lot ()	✓		
Water supply – public (✓) well ()	✓		
22. Existing streets shown - Name	✓		
R/W width	✓		
Paving width	✓		
Dedicated R/W width	✓		
23. Proposed streets shown - Name			✓
R/W width			✓
Paving width			✓
Profiles (utilities)			✓
24. Curbs shown	✓		
25. Sidewalks shown	✓		
26. Existing and proposed coverage shown	✓		
27. Parking schedule provided shown		✓	
28. Traffic study completed	✓		
29. Recreation area shown/fee in-lieu-of provided			✓
30. Erosion and sedimentation control plan shown	✓		
31. Statement of ownership, signature and notarization shown <i>(needs sign/notar)</i>		✓	
32. Dedicatory statement shown <i>(needs to be signed & notarized)</i>		✓	
33. Approval blocks shown	✓		
34. PADOT Highway Occupancy Permit statement shown	✓		
35. Consistency with Future Land Use plans - County plans	✓		
Municipal plans	✓		

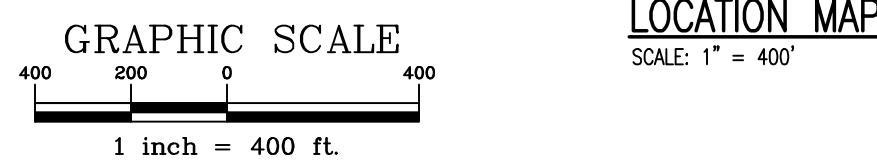
cornerstone
Consulting Engineers & Architectural, Inc.
213 West Main Street - Lansdale - PA 19446
Phone: 215-362-2600 - Fax: 215-362-8400
WWW.CORNERSTONE1.COM

Wendy's®
7956 LINGLESTOWN ROAD
HARRISBURG, PA 17112

REV.	DATE	DESCRIPTION
△		
△		
△		
△		
△		
ISSUE DATE		03/07/24
PROJECT NUMBER		21-0609
DRAWN BY		KPD
CHECKED BY		KHF

SHEET NAME	
COVER SHEET	
SHEET NUMBER	

1 OF 16



GRAPHIC SCALE

2000 1000 0 2000

1 inch = 2000 ft.

PORTION OF HERSHEY USGS MAP

SCALE: 1" = 2000'

GRAPHIC SCALE



400 200 0 200 400

1 inch = 400 ft.

ZONING MAP

SCALE: 1" = 400'

ZONING

- I INTERCHANGE
- BE BUSINESS ENTERPRISE
- IE INDUSTRIAL ENTERPRISE
- R2 MEDIUM DENSITY RESIDENTIAL
- RR RURAL RESIDENTIAL
- CH COMMERCIAL HIGHWAY

OWNER
Red Hubs LIV, LLC.
393 Canal Street, PMB #293, New York, NY 10013
Attn: Jared Yavers, Authorized Representative
Phone: (610) 401-3052
Email: andrew@yellowcabholdings.com

LAND DEVELOPMENT PLANS

1. COVER SHEET
2. NOTES SHEET
3. SITE PLAN
4. EXISTING CONDITIONS AND DEMOLITION PLAN
5. GRADING AND DRAINAGE PLAN
6. UTILITY PLAN
7. UTILITY PROFILES
8. STORM WATER PROFILES
9. VEHICLE MOVEMENT & PAVEMENT PLAN
10. PHOTOMETRIC PLAN
11. LANDSCAPE PLAN
12. SITE DETAILS
13. UTILITY DETAILS
14. STORM DETAILS
15. WENDY'S TRASH ENCLOSURE DETAILS
16. WENDY'S STANDARD SITE DETAILS

1. PCSM SITE PLAN
2. OPERATION & MAINTENANCE PLAN
3. PCSM DETAILS
4. LEVEL SPREADER & STILLING WELL DETAILS
5. SUB-SURFACE INFILTRATION BED DETAILS
6. PRE DEVELOPMENT DRAINAGE AREA / EXISTING CONDITIONS
7. POST DEVELOPMENT DRAINAGE AREA
8. INLET DRAINAGE AREA

1. ESPC SITE PLAN
2. ESPC NOTES
3. ESPC DETAILS

THE OWNER OR CONTRACTOR MUST SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE TOWNSHIP ENGINEER TO BE HELD AT LEAST FOUR WORKING DAYS PRIOR TO THE START OF ANY SITE CONSTRUCTION, EARTH DISTURBANCE, CLEARING OR GRUBBING. ALSO, THE OWNER OR CONTRACTOR SHALL CONTACT THE TOWNSHIP ENGINEER AT LEAST FOUR WORKING DAYS PRIOR TO THE START OF ANY SITE CONSTRUCTION, EARTH DISTURBANCE, CLEARING OR GRUBBING TO FACILITATE CONSTRUCTION OBSERVATION.

I, _____, _____,
NAME DATE
HEREBY CERTIFY THAT A WETLANDS STUDY WAS CONDUCTED IN ACCORDANCE WITH TOWNSHIP, STATE AND FEDERAL
REQUIREMENTS AND THIS PLAN ACCURATELY DEPICTS THE EXTENT OF THOSE WETLANDS.

I, _____, _____,
NAME DATE
HEREBY CERTIFY THAT I AM IN RECEIPT AND AWARE OF THE RESULTS OF THE WETLANDS STUDY.

COMMONWEALTH OF PENNSYLVANIA, COUNTY OF DAUPHIN
ON THIS, THE _____ DAY OF _____, BEFORE ME THE UNDERSIGNED
PERSONALLY APPEARED _____

OWNER(S) _____

OWNER(S) _____
WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE
PROPERTY SHOWN ON THIS PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND
DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.
WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND DATE ABOVE WRITTEN,

MY COMMISSION EXPIRES _____ NOTARY PUBLIC _____

THIS PLAN REVIEWED BY THE DAUPHIN COUNTY PLANNING COMMISSION THIS _____ DAY OF _____

CHAIRMAN_____

SECRETARY _____
THIS PLAN REVIEWED BY THE WEST HANOVER TOWNSHIP ENGINEER THIS _____ DAY OF _____

TOWNSHIP ENGINEER_____

THIS PLAN RECOMMENDED FOR APPROVAL BY THE WEST HANOVER TOWNSHIP PLANNING COMMISSION THIS _____ DAY OF _____.

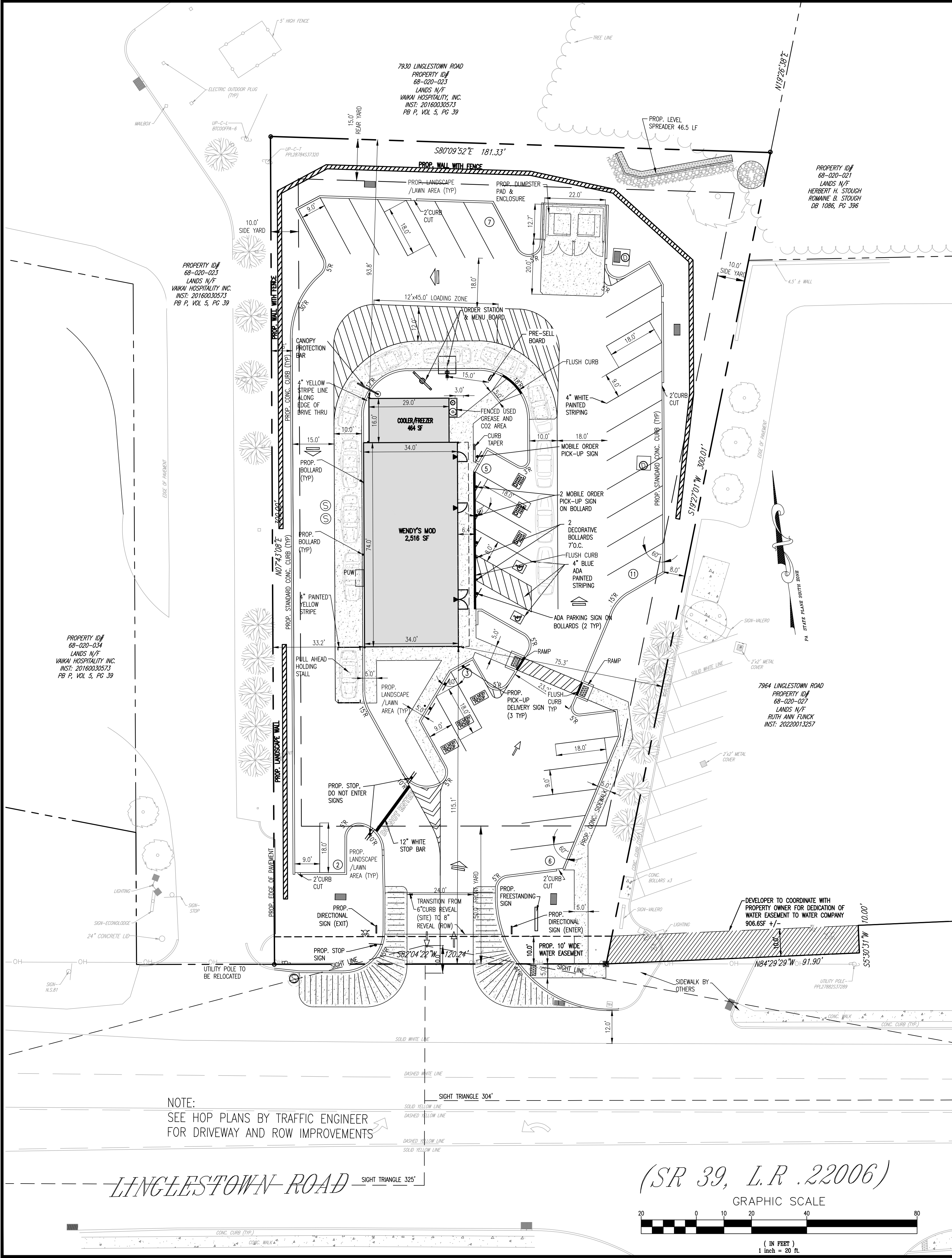
CHAIRMAN_____

SECRETARY _____
THIS PLAN APPROVED BY THE BOARD OF SUPERVISORS OF WEST HANOVER TOWNSHIP THIS _____
DAY OF _____

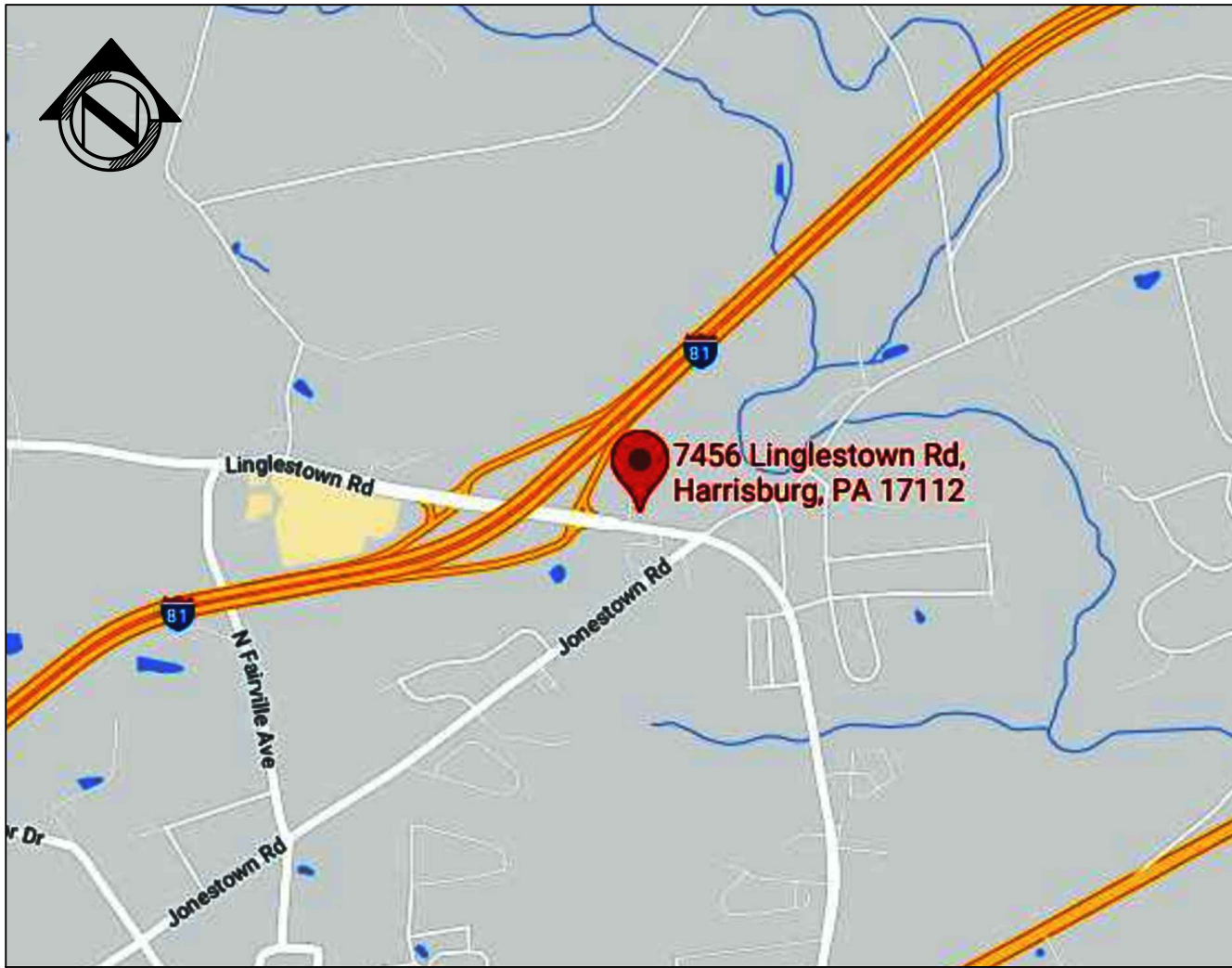
CHAIRMAN _____

SECRETARY _____

THIS PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR DAUPHIN COUNTY
THIS _____ DAY OF _____
PLAN BOOK _____ VOLUME _____ PAGE _____



TWP. ID #24-001



SITE INFORMATION

1. PROPERTY OWNER: RED HUBS LIV, LLC
2. PROPERTY KNOWN AS: 7456 LINGLESTOWN ROAD AKA 7956 LINGLESTOWN ROAD, WEST HANOVER TOWNSHIP DAUPHIN COUNTY, HARRISBURG, PA
3. TAX PARCEL ID: #68-020-028
4. DEED BOOK 3478, PAGE 059
5. AREA OF PARCEL 44,867 SF (1.030 Ac)

GENERAL SITE PLAN NOTES

1. APPLICANT INFORMATION: RED HUBS LIV, LLC, 393 CANAL STREET, PMB #293 NEW YORK, NY. ATTN: KENNETH FRIED PHONE: (610) 401-3052 EMAIL: k@yellowcabholdings.com
2. THIS PLAN REFERENCES A BOUNDARY, LOCATION & TOPOGRAPHIC SURVEY, PREPARED BY CORNERSTONE CONSULTING ENGINEERS & ARCHITECTURAL, INC., WITH A FIELD DATE OF SEPT. 28, 2021. UPDATED: SEPT 7, 2023.
3. THE PROJECT PROPOSES PUBLIC WATER AND SEWER.
 - * PUBLIC WATER: PA AMERICAN WATER COMPANY
 - * PUBLIC SEWER: WEST TOWNSHIP WATER & SEWER AUTHORITY
4. THE PROJECT REQUIRES A PENNDOT HIGHWAY OCCUPANCY PERMIT (HOP). REFER TO THE HOP PLANS PREPARED BY TRAFFIC ENGINEERING AND DESIGN.
5. DEVELOPER SHALL SUBMIT A ZONING PERMIT FOR PROPOSED SIGNAGE.
6. THE BUILDING OUTLINE SHOWN IS THE ANTICIPATED BUILDING DEVELOPMENT AREA, THE ACTUAL BUILDING FOOTPRINT MAY VARY. THE ARCHITECT SHALL ENSURE THE BUILDING DOES NOT EXCEED THE LIMITS SHOWN ON THIS PLAN.
7. THE OWNER OR CONTRACTOR MUST SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE TOWNSHIP ENGINEER TO BE HELD AT LEAST FOUR WORKING DAYS PRIOR TO THE START OF ANY SITE CONSTRUCTION, EARTH DISTURBANCE, CLEARING OR GRUBBING. ALSO, THE OWNER OR CONTRACTOR SHALL CONTACT THE TOWNSHIP ENGINEER AT LEAST FOUR WORKING DAYS PRIOR TO THE START OF ANY SITE CONSTRUCTION, EARTH DISTURBANCE, CLEARING OR GRUBBING TO FACILITATE CONSTRUCTION OBSERVATION.

ZONING NOTES

1. ZONING DISTRICT: I - INTERCHANGE DISTRICT
2. PROPOSED USE: RESTAURANTS - FAST FOOD (195-61.0)
 - * DRIVE-THRU CONSIDERED A PART OF THE ABOVE USE PURSUANT TO THE ZONING ORDINANCE DEFINITIONS
3. AVAILABILITY OF PUBLIC WATER AND SEWER TO BE COORDINATED WITH THE MUNICIPALITY

BULK ZONING INFORMATION		
DESCRIPTION	REQUIRED	PROPOSED
MAX HEIGHT	35'	35'
MAX IMPERVIOUS	75%	67.8% (30,405 SF)
MIN. LOT AREA	NONE	44,867 SF (1.030 Ac)
MIN. LOT WIDTH	100'	144.10'
SETBACKS		
FRONT	50'	115.0'
SIDE	10'	33.2'
REAR	15'	93.8'
PARKING		
REQUIRED SPACES: GREATER OF:		
A. 1 SPACE / 100 SF GFA x 2980 SF GFA = 30 SPACES		
B. 1 SPACE / EVERY 2 PERSONS MAX OCCUPANCY x 60 PERSONS = 30 SPACES		
PROPOSED:		
34 SPACES, INCLUDING 2 ADA SPACES		

WETLAND CERTIFICATION

I, _____, DATE _____
NAME _____
HEREBY CERTIFY THAT A WETLANDS STUDY WAS CONDUCTED IN ACCORDANCE WITH TOWNSHIP, STATE AND FEDERAL REQUIREMENTS AND THIS PLAN ACCURATELY DEPICTS THE EXTENT OF THOSE WETLANDS.

I, _____, DATE _____
NAME _____
HEREBY CERTIFY THAT I AM IN RECEIPT AND AWARE OF THE RESULTS OF THE WETLANDS STUDY.

SITE NUMBER: 13566
BASE MODEL: NEXT GEN 40
ASSET TYPE: FRANCHISE
CLASSIFICATION: NEW BUILD
OWNER: YELLOW CAB
BASE VERSION: 2023
UPGRADE CLASSIFICATION:
NEW BUILD
PROJECT YEAR: 2023
FURNITURE PACKAGE: (2.0) UM BRITE
DRAWING RELEASE: 2022

Cornerstone
Consulting Engineers & Architectural, Inc.
213 West Main Street - Landsale, PA 19446
Phone: 215-562-2600, Fax: 215-562-8400
WWW.CORNERSTONEINC.COM

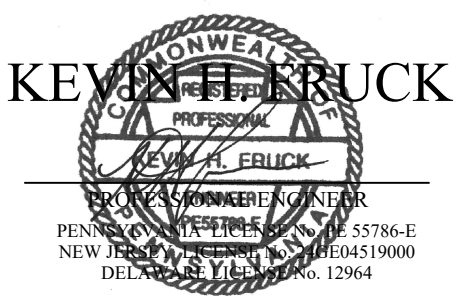
Pocono Region
610-820-8200
Lehigh Valley Region
610-820-8200
Philadelphia Region
215-562-2600

PROJECT TYPE: NEW BUILD

Wendy's
7956 LINGLESTOWN ROAD
HARRISBURG, PA 17112

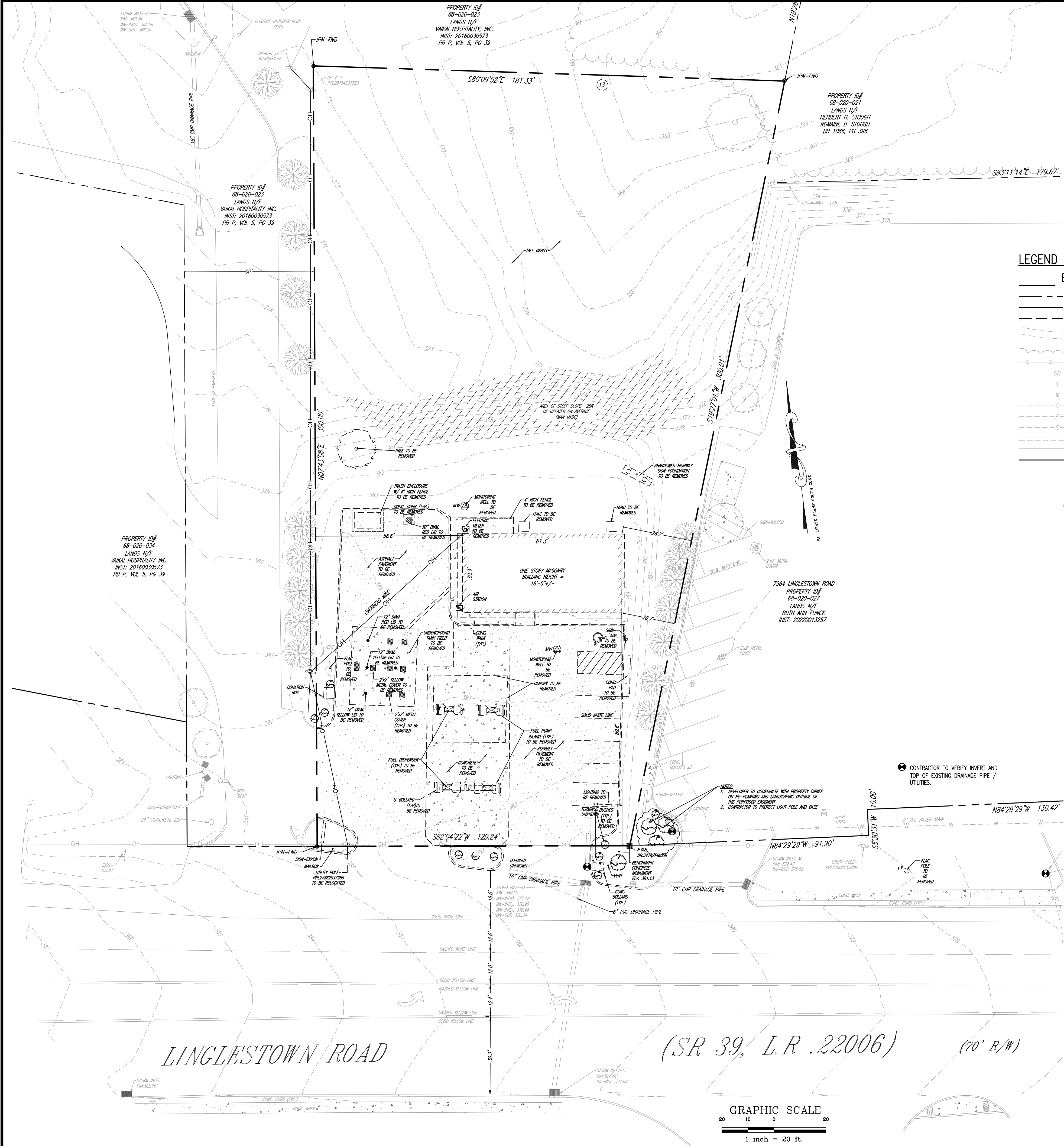
REV.	DATE	DESCRIPTION
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ISSUE DATE 03/07/24
PROJECT NUMBER 21-0609
DRAWN BY KPD
CHECKED BY KHF



SHEET NAME
SITE PLAN

SHEET NUMBER



LEGEND & ABBREVIATIONS

EXISTING

---	PROPERTY BOUNDARY
---	ADJACENT BOUNDARY
---	RIGHT OF WAY LINE
---	BUILDING SETBACK LINE
---	EXISTING CONTOUR
---	EXISTING SPOT ELEVATION
---	EXISTING TREELINE
---	EXISTING FENCE
---	EXISTING OVERHEAD WIRE
---	APPROXIMATE GAS LINE
---	APPROXIMATE WATER LINE
---	APPROXIMATE TELCO LINE
---	APPROXIMATE ELECTRIC LINE
---	APPROXIMATE SANITARY LINE
---	APPROXIMATE DRAINAGE LINE
---	EXISTING CURB
---	EXISTING DEPRESSED CURB (DC)
---	EXISTING SIGN
---	EXISTING UTILITY POLE (UP)
---	CONDUIT - TRANSFORMER
---	LIGHT - METER - BOX
---	GUY WIRE
---	LANDSCAPE AREA
---	LAMP POST
---	STORM MANHOLE
---	SANITARY MANHOLE
---	COMMUNICATION MANHOLE
---	ELECTRIC MANHOLE
---	WATER MANHOLE
---	UNKNOWN MANHOLE
---	TANK LID
---	STORM INLET
---	GAS METER
---	WATER METER
---	TRAFFIC SIGNAL BOX
---	ELECTRIC VAULT
---	GAS VALVE
---	WATER VALVE
---	CLEAN OUT
---	MONITORING WELL
---	CONCRETE MONUMENT FOUND
---	IRON PIN FOUND
---	IRON PIPE FOUND
---	NAIL FOUND
---	BENCHMARK
---	TO BE REMOVED
---	TREE

TO BE REMOVED

---	PROPERTY BOUNDARY
---	ADJACENT BOUNDARY
---	RIGHT OF WAY LINE
---	BUILDING SETBACK LINE
---	EXISTING CONTOUR
---	EXISTING SPOT ELEVATION
---	EXISTING TREELINE
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---	APPROXIMATE SANITARY LINE
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---	TO BE REMOVED
---	TREE

TWP. ID #24-001

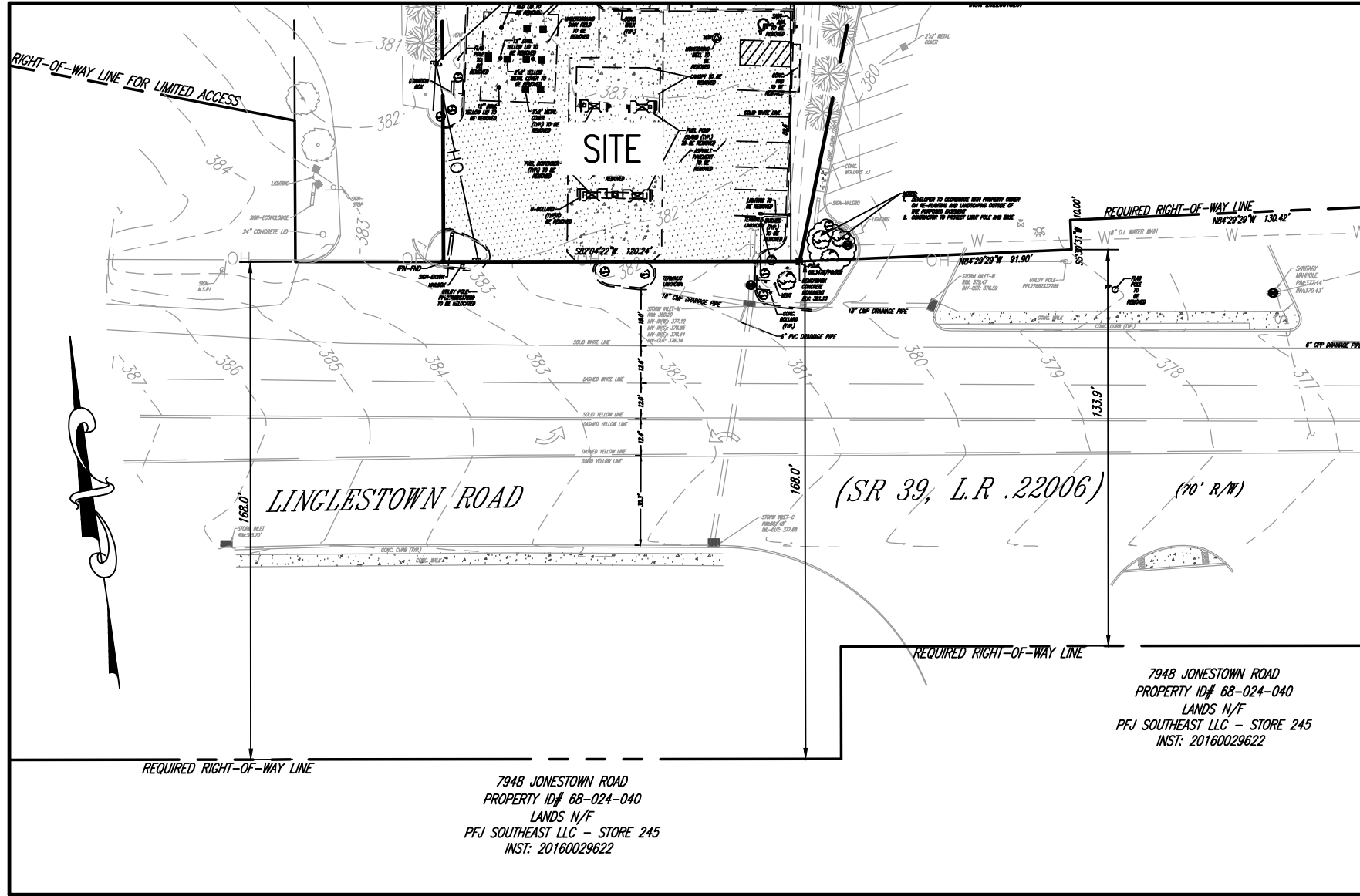
SURVEY NOTES:

- PROPERTY KNOWN AS 7456 LINGLESTOWN ROAD A.K.A. 7956 LINGLESTOWN ROAD, DAUPHIN COUNTY, HARRISBURG, COMMONWEALTH OF PENNSYLVANIA.
- AREA OF PARCEL IS 44,867 SQUARE FEET OR 1.030 ACRES.
- REPRESENTATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE NOT AS-BUILT LOCATIONS. ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD ARE SHOWN. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CORNERSTONE CONSULTING ENGINEERS AND ARCHITECTURAL, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON. SURVEY & TOPOGRAPHIC INFORMATION SHOWN HEREON DERIVED FROM A FIELD SURVEY PERFORMED BY CORNERSTONE CONSULTING LATEST DATE JUNE 9, 2021.
- DATUM BASED UPON PENNSYLVANIA STATE PLANE SOUTH ZONE 3702 USING HORIZONTAL VALUES FROM NAD83 AND VERTICAL VALUES FROM NAVD83.
- SITE BENCHMARK IS A CONCRETE MONUMENT FOUND, ELEVATION = 381.13'. TO ENSURE THAT THERE HAS BEEN NO ALTERATION OF THE SURVEY BENCHMARK SINCE THE TIME OF THE FIELD SURVEY, IT IS RECOMMENDED THAT THE CONTRACTOR ESTABLISH A CONSTRUCTION BENCHMARK BASED ON THE SURVEY BENCHMARK AND ELEVATIONS OF OTHER EXISTING IMPROVEMENTS.
- THIS PROPERTY IS LOCATED IN FEMA FLOOD MAP - OTHER AREAS/ZONE X. MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, DAUPHIN COUNTY, PENNSYLVANIA (ALL JURISDICTIONS)," PANEL 355 OF 501, MAP NUMBER 42043C03550, EFFECTIVE AUGUST 2ND, 2012.
- EXCEPTING AND RESERVING THAT PORTION OF THE PREMISES LYING IN AND ALONG THE ROADBED(S); SUBJECT TO PUBLIC AND PRIVATE RIGHTS THEREON. - RIGHT-OF-WAY SHOWN
- RIGHT OF WAY GRANTED TO SHAH FAMILY TRUST RECORDED AUGUST 12, 1999 IN DEED BOOK 3478, PAGE 54, AFORESAID RECORDS. - CROSS ACCESS AGREEMENT WITH 7930 LINGLESTOWN ROAD, SHOWN - BLANKET IN NATURE.
- RIGHT OF WAY GRANTED TO THE PENNSYLVANIA POWER AND LIGHT COMPANY SEPTEMBER 3, 1970 IN DEED BOOK 132, PAGE 168, AFORESAID RECORDS. DOES NOT AFFECT SUBJECT PROPERTY - INSTRUMENT PERTAINS TO PROPERTY IN LOWER PHANTOM TOWNSHIP.
- RIGHTS OF WAY GRANTED TO THE SUN OIL COMPANY RECORDED MAY 5, 1971 IN DEED BOOK 134, PAGE 4, AFORESAID RECORDS - DOES NOT AFFECT SUBJECT PROPERTY. INSTRUMENT PERTAINS TO PROPERTY IN SWATARA TOWNSHIP.
- RIGHTS OF WAY GRANTED TO THE UNITED GAS IMPROVEMENT COMPANY RECORDED AUGUST 5, 1960 IN DEED BOOK 106, PAGE 587, AFORESAID RECORDS - DOES NOT AFFECT SUBJECT PROPERTY. INSTRUMENT PERTAINS TO PROPERTY IN SWATARA TOWNSHIP.

PENNSYLVANIA
ONE CALL SYSTEM, INC.
425 North Elm Road
West Mifflin, Pennsylvania
15122-1079

BEFORE YOU DIG ANYWHERE IN
PENNSYLVANIA CALL 1-800-242-1776
NON-MEMBERS MUST BE
CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE,
DRILL, BLAST OR DEMOLISH

SERIAL NUMBER: 202011544263



SITE NUMBER: 13566
BASE MODEL: NEXT GEN 40
ASSET TYPE: FRANCHISE
CLASSIFICATION: NEW BUILD
OWNER: YELLOW CAB
BASE VERSION: 2023
UPGRADE CLASSIFICATION:
NEW BUILD
PROJECT YEAR: 2023
FURNITURE PACKAGE:(2.0) UM BRITE
DRAWING RELEASE: 2022

Cornerstone
Consulting Engineers & Architectural, Inc.
213 West Main Street - Lansdale - PA 19446
Phone: 215-562-2600 - Fax: 215-562-8400
WWW.CORNERSTONEINC.COM

Pocono Region
610-830-8200
570-839-1770

Lehigh Valley Region
610-830-8200
Philadelphia Region
215-562-2600

PROJECT TYPE: NEW BUILD

Wendy's
7956 LINGLESTOWN ROAD
HARRISBURG, PA 17112

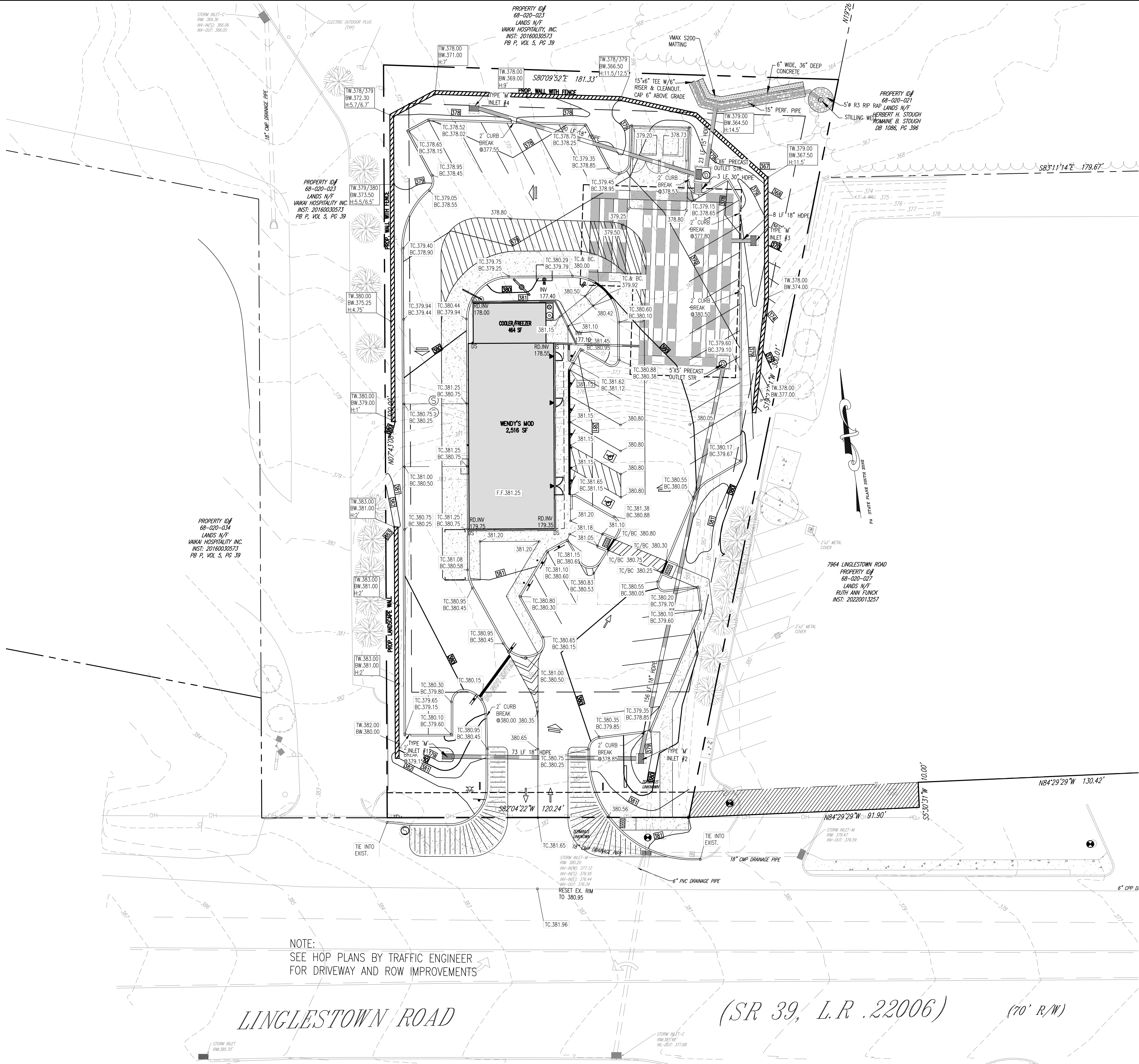
REV.	DATE	DESCRIPTION
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ISSUE DATE: 03/07/24
PROJECT NUMBER: 21-0609
DRAWN BY: KPD
CHECKED BY: KHF

KEY PLAN

7949 JONESTOWN ROAD
PROPERTY OF 68-024-040
LANDS N/F
PFJ SOUTHEAST LLC - STORE 245
INST: 2016020622

SHEET NAME
EXISTING CONDITIONS PLAN
SHEET NUMBER



GENERAL GRADING NOTES

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY 'ONE-CALL' NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. THE CONTRACTOR SHALL ALSO INDEPENDENTLY NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
- LOCATIONS ON THE PLAN DESIGNATED WITH AN ASTERISK (*) ARE LOCATIONS INTENDED TO MATCH EXISTING GRADES OR EXISTING INVERTS. THESE LOCATIONS HAVE BEEN INTERPOLATED AND/OR CALCULATED AND MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES.
- SPOT GRADES ARE SHOWN WITH A TC (TOP OF CURB) SHOWING THE ELEVATION AT THE TOP OF CURB AND BC (BOTTOM OF CURB) IDENTIFYING THE GRADE. TC/BC IDENTIFIES THAT THE CURB IS TO BE FLUSH CURB. BC DOES NOT REPRESENT THE BOTTOM OF THE CURB STRUCTURE. REFER TO THE CURB DETAILS FOR FURTHER INFORMATION.
- ALL CLEANOUTS IN CONCRETE AND ASPHALT AREAS SHALL BE FLUSH WITH GRADE AND SHALL PROVIDE METAL LIDS OR GRATES AS APPLICABLE. INLETS GREATER THAN 6'-FEET DEEP SHALL BE PROVIDED WITH RUNGS FOR ACCESS.

DRAINAGE NOTES

- DRAINAGE PIPE USED FOR THE ROOF DRAIN COLLECTION SYSTEM SHALL BE 12-INCH ADS HDPE PIPE AND FITTINGS OR APPROVED EQUIVALENT.
- ANY CHANGES IN PIPE MATERIAL (PVC/HDPE) SHALL USE PROPER FITTINGS AND CONNECTIONS METHODS.
- CONTRACTOR SHALL USE PROPER FITTINGS AND CONNECTORS FOR DRAINAGE PIPE.
- ANY INLET WITH A WATER QUALITY HOOD/DEVICE SHALL BE PROVIDED WITH A SLUMP MEETING THE MANUFACTURER'S RECOMMENDATIONS.
- ALL CLEANOUTS IN CONCRETE AND ASPHALT AREAS SHALL BE FLUSH WITH GRADE AND SHALL PROVIDE METAL LIDS OR GRATES AS APPLICABLE.
- INLETS GREATER THAN 6'-FEET DEEP SHALL BE PROVIDED WITH RUNGS FOR ACCESS.

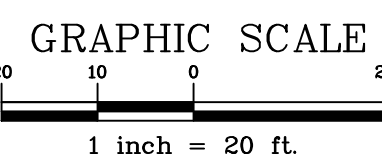
GENERAL RETAINING WALL NOTES

- RETAINING WALLS THAT ARE SHOWN IN THIS PLAN ARE PROVIDED TO ILLUSTRATE THE LOCATION AND ELEVATIONS OF THE WALL AND ANY INFORMATION DEPICTED IS NOT A STRUCTURAL DESIGN. RETAINING WALLS ARE TO BE DESIGNED AND PERMITTED BY OTHERS. PLANS SHALL BE DESIGNED, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA.
- CONTRACTOR AND/OR DEVELOPER SHALL COORDINATE WITH THE TOWNSHIP FOR PLAN REVIEW AND APPROVAL BY THE TOWNSHIP ENGINEER PRIOR TO SUBMISSION OF A BUILDING PERMIT.
- TW (TOP OF WALL) ELEVATIONS LISTED ON THIS PLAN ARE THE MINIMUM GRADE OF THE WALL BASED ON THE PROPOSED GRADES. ACTUAL CONSTRUCTED TOP OF WALL ELEVATION MAY BE HIGHER DEPENDING ON THE TYPE OF WALL AND DESIGN OF THE WALL.
- BW (BOTTOM OF WALL) ELEVATIONS LISTED ON THIS PLAN ARE TO GRADE AND DOES NOT DEPICT THE FOUNDATION GRADE.
- WALLS SHALL BE DESIGNED TO ACCOUNT FOR POTENTIAL VEHICLE IMPACT ON ANY GUIDERAIL AT THE TOP OF THE WALL.
- FOR PROJECTS IN WHICH THERE ARE VEHICULAR MOVEMENTS WITHIN 12'-FEET TO THE TOP OF A RETAINING WALL 32" OR GREATER IN HEIGHT, THE CONTRACTOR SHALL INSTALL GUIDERAIL. THE GUIDE RAIL TYPE, MATERIAL, COLOR AND LOCATION SHALL BE COORDINATED WITH THE OWNER AS A SUBMITTAL. WALLS SHALL BE PROVIDED WITH A GUIDERAIL, UNLESS OTHERWISE NOTED ON THE PLANS.
- RETAINING AND LANDSCAPE WALLS SHALL BE PROVIDED WITH A FOUNDATION DRAIN. THE DRAIN SHALL DAYLIGHT, OR BE TIED INTO THE SITE OR STREET DRAINAGE SYSTEM. DRAIN SHALL BE PROVIDED BEHIND THE WALL WITH CLEAN STONE.
- WALLS EXCEEDING 12-INCHES IN HEIGHT, OR AS OTHERWISE DICTATED BY STATE OR LOCAL CODE, SHALL BE PROVIDED WITH A FENCE.
- CONTRACTOR SHALL PROVIDE A SUBMITTAL OF THE FENCE FOR APPROVAL PRIOR TO ORDERING.
- WALL DESIGNER SHALL ENSURE FENCE IS INCLUDED IN THE DESIGN AS REQUIRED.

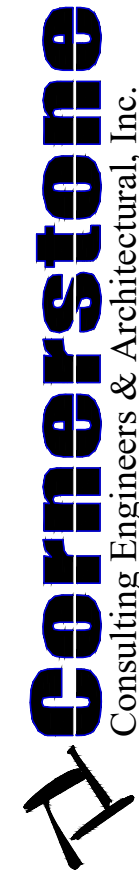
NOTE:
SEE HOP PLANS BY TRAFFIC ENGINEER
FOR DRIVEWAY AND ROW IMPROVEMENTS

LINGLESTOWN ROAD

(SR 39, L.R. 22006) (70' R/W)



SITE NUMBER: 13566
BASE MODEL: NEXT GEN 40
ASSET TYPE: FRANCHISE
CLASSIFICATION: NEW BUILD
OWNER: YELLOW CAB
BASE VERSION: 2023
UPGRADE CLASSIFICATION:
NEW BUILD
PROJECT YEAR: 2023
FURNITURE PACKAGE:(2.0) UM BRITE
DRAWING RELEASE: 2022



cornerstone
Consulting Engineers & Architectural, Inc.
213 West Main Street - Lansdale - PA 19446
Phone: 215-562-2600 - Fax: 215-562-8400
WWW.CORNERSTONEINC.COM

Pocono Region
570-839-1770

Lehigh Valley Region
610-820-8200

Philadelphia Region
215-562-2600

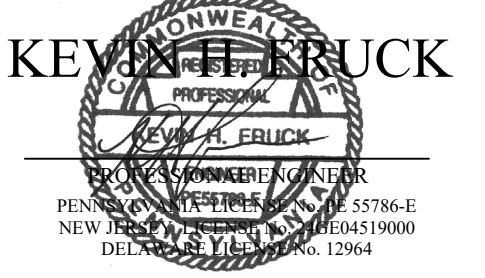
PROJECT TYPE: NEW BUILD



Wendy's
7956 LINGLESTOWN ROAD
HARRISBURG, PA 17112

REV.	DATE	DESCRIPTION
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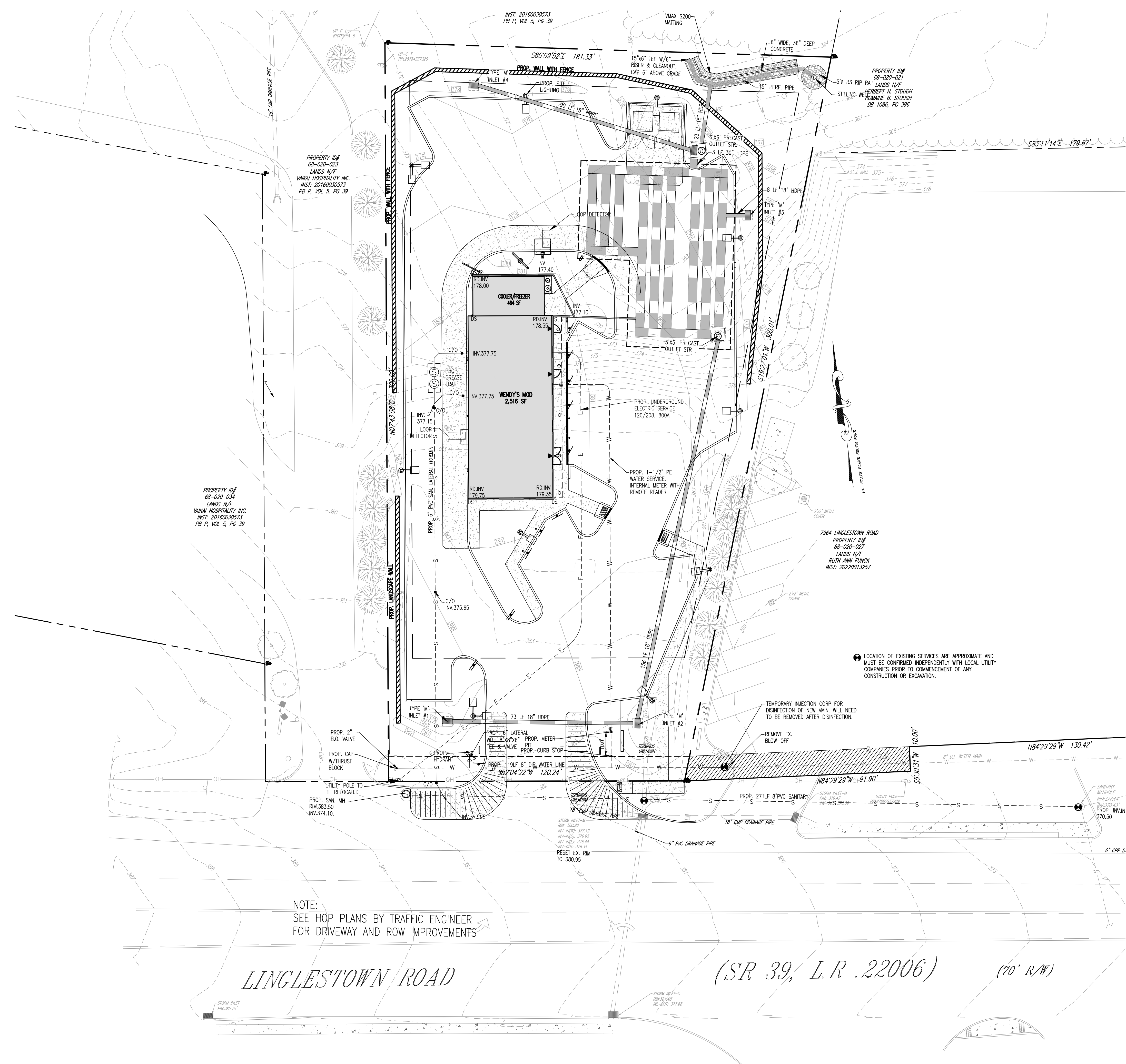
ISSUE DATE	03/07/24
PROJECT NUMBER	21-0609
DRAWN BY	KPD
CHECKED BY	KHF



KEYNOTE ENGINEERING, LLC
KEVIN E. ERICKSON
P.E. No. 12964
PENNSYLVANIA
NEW JERSEY No. 35780-E
DELETED No. 12964

SHEET NAME
GRADING & DRAINAGE PLAN
SHEET NUMBER

REV.	DATE	DESCRIPTION
△		
△		
△		
△		
△		
ISSUE DATE		03/07/24
PROJECT NUMBER		21-0609
DRAWN BY		KPD
CHECKED BY		KHF

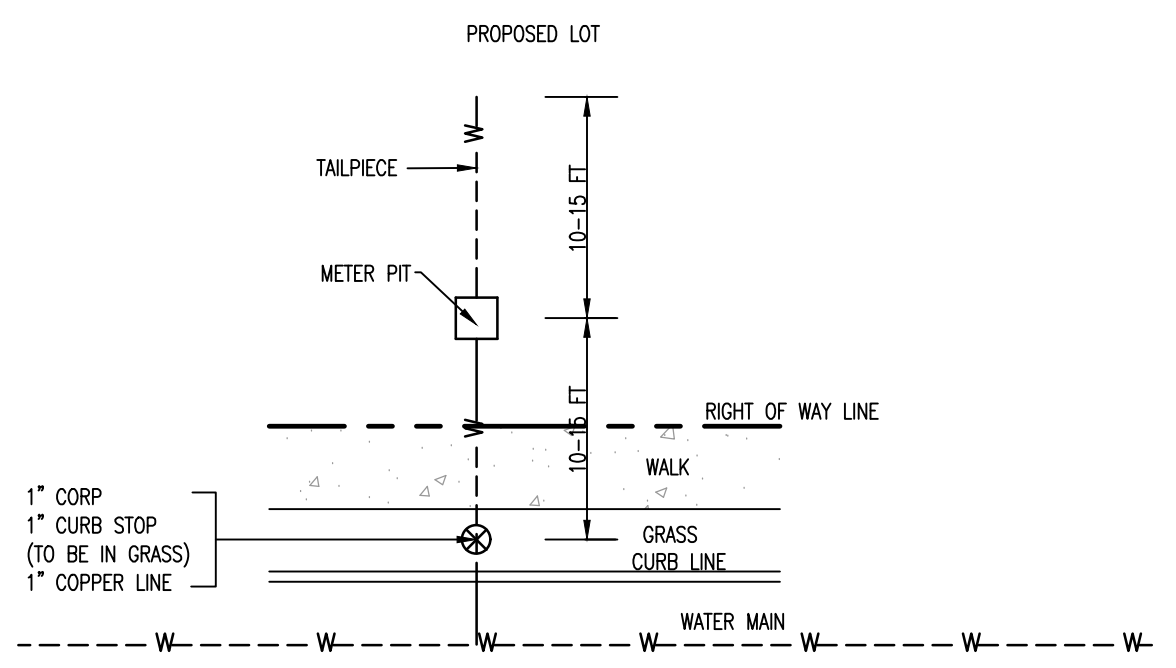


1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO INDEPENDENTLY NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
2. REFER TO THE NOTES SHEET, ESPC SHEETS, PCSM SHEETS AND OTHER PLAN SHEETS FOR DRAINAGE AND GRADING ADDITIONAL NOTES, SPECIFICATIONS AND INFORMATION.

1. WATER SERVICES SHALL BE INSTALLED PURSUANT TO THE STANDARD INSTALLATION DETAILS AND SPECIFICATIONS OF THE AGENCY HAVING JURISDICTION.
2. THIS PLAN PROPOSES AN INTERNAL METER.
3. WATER SERVICE SHALL BE A 2-INCH PIPE LOCATION.
4. COORDINATE FINAL WATER SERVICE PLACEMENT INTO THE BUILDING WITH THE ARCHITECTURAL PLAN.
5. CONTRACTOR INCLUDE ALL WORK NECESSARY TO INSTALL THE WATER AND FIRE SERVICES, INCLUDING BUT NOT LIMITED TO: SAW CUT, ASPHALT AND CONCRETE DISPOSED, ASPHALT AND CONCRETE INSTALLATION, THURST BURST, MATERIALS AND LABOR FOR INSTALLATION, VALVES, VALVE BOXES AND LIDS, CLEAN UP, TESTING, DISINFECTION, ONE CALL, SURVEY STAKEOUT, PROJECT MANAGEMENT AND TRAFFIC CONTROLS.
6. ALL ALL, GAS, OPG, AND OTHER SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH RESTRICTION, PERMITS, AND TRUSTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING: (1) ALL SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE TRUSTS AND (2) WHERE APPROPRIATE, LOOKED MECHANICAL OR PUSH-ON JOINTS, MECHANICAL JOINTS UTILIZING SET SLEEVE RETAINER GLANDS, OR OTHERS (WHETHER METHODS OR DEVICES) SHOULD BE USED. THE TYPE OF PIPE USED, SOIL CONDITIONS, AND AVAILABLE SPACE WILL DETERMINE

1. SANITARY LINE SHALL BE SDR 35 GASKETED SEWER PIPE AND WEST ASTEN D-3034.
2. COORDINATE FINAL LATERAL SUE LOCATIONS WITH THE ARCHITECTURAL PLAN.
3. SANITARY MANHOLE SHALL PROVIDE A METAL MANHOLE LID THAT MEETS SEWER AUTHORITY SPECIFICATIONS.
4. SANITARY MANHOLE SHALL MEET SEWER AUTHORITY SPECIFICATIONS.
5. SANITARY LINES AND MANHOLES SHALL BE VACUUM, AIR AND MANDEUL TESTED. CONTRACTOR TO INCLUDE TESTING IN THE WORK SCOPE AND SHALL COORDINATE TESTING WITH THE WEST HANOVER TOWNSHIP SEWER AUTHORITY. SPECIFICATIONS CAN BE FOUND AT WHITSOM.
6. CONTRACTOR TO INCLUDE ALL WORK NECESSARY TO INSTALL THE SEWER LINES AND MANHOLES, INCLUDING BUT NOT LIMITED TO: SAW CUT, ASPHALT AND CONCRETE PATCHES, CURB AND GUTTER INSTALLATION, MATERIALS AND LABOR FOR INSTALLATION, CLEAN UP, ONE CALL, SURVEY STAKEOUT, PROJECT MANAGEMENT AND TRAFFIC CONTROLS.
7. ALL CLEANOUTS MUST HAVE LAMPHOLE PROTECTION.

1. CONTRACTOR SHALL COORDINATE INSTALLATION OF PRIMARY SERVICES AND TRANSFORMER WITH THE ELECTRIC COMPANY. REFER TO ARCHITECTURAL PLANS FOR SERVICE REQUIREMENTS.
2. ALL EXTERIOR ELECTRIC LINES SHALL BE INSTALLED IN PVC ELECTRIC CONDUIT.
3. ALL ELECTRICAL WORK SHALL MEET ELECTRIC COMPANY REQUIREMENTS.
4. CONTRACTOR SHALL COORDINATE WITH THE GAS COMPANY FOR PERMITS AND SERVICE INSTALLATION.



WATERLINE DETAIL

