

DAUPHIN COUNTY SUBDIVISION/LAND DEVELOPMENT REVIEW REPORT

Municipality

Derry Township

Surveyor

Warner

Engineer/RLA

Mayeski

Plat Title

Leonard’s Plumbing

Zoning District

Industrial

Proposed Land Use

Commercial/Industrial

Plat Status:

Preliminary

Final

X P/F

Minor

Plat Type:

Subdivision

X Land Development

Regulations:

County

X Municipal

X Zoning

X S&LD

Existing # of Lots

1

Proposed # of Lots

1

Proposed # of New DUs

0

Subdivided / Developed Acres

0.71

Total Acres

0.79

Date Received

05/13/24

Staff Review

05/20/24

Official County Review

05/20/24

Reviewed by DMK Checked by Tax Map Parcel # 24-008-008

- When applicable, streets, sewer, water, storm drainage, and other infrastructure elements to be verified as adequate by municipal staff/engineer. Any improvement guarantees shall be posted prior to final plat approval.
- Registered PA Land Surveyor is required to certify all lot/tract boundary descriptions.
- When applicable, zoning compliance to be verified by Municipal Zoning Officer.
- Appropriate sewage module component should be processed prior to final plat approval.
- Final plats must be recorded within 90 days of approval.

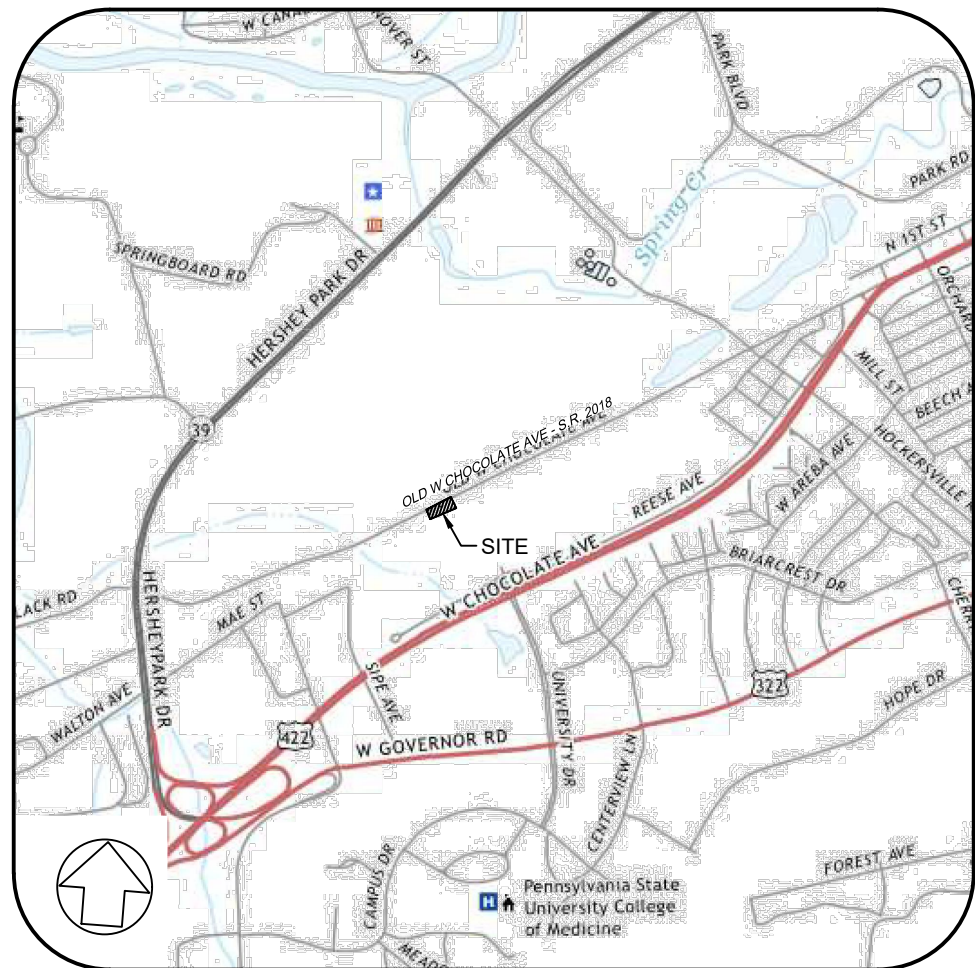
Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Commission.

- The following certifications, signatures and approvals (or approved waivers) are required prior to plan recording:
 - Surveyor/engineer name, seal and signature [S-LD §185-13E(4a)(32, 33)]
 - Ownership and dedicatory statements with notarization [S-LD §185-13E(4a)(46, 47)]
 - Erosion and sedimentation control [S-LD §185-13E(4a)22]
 - Stormwater management plan [S-LD §185-13E(5f);185-26]
 - DEP sewage planning module [S/LD – §185-13E(5b)]
 - Lighting plan and professional certification [S-LD §185-33E]
- Reconcile parking data on Sheet 1 with parking spaces shown on Sheet 5.
- Change “maximum” vegetated coverage label on Sheet 1 to “minimum” [S-LD §185-13E(4a)(25)].
- Verify North/South Master Plan Approval Area overlay notation on Sheet 1 [S-LD §185-13E(4a)(37)].
- Provide location of fire hydrants on the plan [S-LD §185-13E(4a)(9, 17)].
- Provide data substantiating minimum fire hydrant flow requirement, flow availability, recharge capabilities, and duration of flow [S-LD §185-36].
- Provide final lighting plan certified by a professional engineer, as well as details of light standards and fixtures to be used [S-LD §185-33E, H].
- Add a note that sidewalk access is provided along the north side of Old West Chocolate Avenue and/or provide request for waiver/deferment/fee-in-lieu of sidewalk [S-LD §185-34A(4); §185-13E(4a)(40)].
- Provide statement from applicable utilities (PAWC) regarding approval of proposed facilities and capacity to provide service [S-LD §185-13E(5)].

Plan No. 24-046

Plat Specifications	Yes	No	N/A
1. Name of proposed subdivision/land development shown	✓		
2. Owner/developer name, address & telephone number shown	✓		
3. Municipality name shown	✓		
4. Tax parcel number/Deed reference shown/Instrument #	✓		
5. North point shown	✓		
6. Map scale shown (written/graphic)	✓		
7. Date of plan preparation shown	✓		
8. Certification of surveyor/engineer shown (need seals, signatures)	✓		
9. Location map shown	✓		
10. Total property map (bearings, distances, area, primary control point) shown	✓	(no pcg)	
11. Names of adjacent landowners/subdivision shown	✓		
12. Lot numbers shown (overall property data provided)	✓		
13. Lot dimensions shown (as surveyed)	✓		
14. Lot areas shown (as surveyed)	✓		
15. Permanent monuments and markers shown	✓		
16. Building setbacks shown	✓		
17. Existing natural features shown - Wetlands			✓
Floodplains			✓
Woodlands, streams			✓
18. Contours at required interval shown	✓		
19. Easements shown and identified	✓		
20. Existing man-made features shown - Building (s)	✓		
Storm drainage facilities	✓		
Sewer mains			✓
Water mains	✓		
21. Proposed man-made features shown – Building (s)	✓		
Storm drainage facilities	✓		
Sewer disposal – public () on-lot (✓)	✓		
Water supply – public (✓) well ()	✓		
22. Existing streets shown - Name	✓		
R/W width	✓		
Paving width	✓		
Dedicated R/W width	✓		
23. Proposed streets shown - Name			✓
R/W width			✓
Paving width			✓
Profiles (swm)	✓		
24. Curbs shown	✓		
25. Sidewalks shown		✓	
26. Existing and proposed coverage shown	✓		
27. Parking schedule provided shown	✓		
28. Traffic study completed			✓
29. Recreation area shown/fee in-lieu-of provided			✓
30. Erosion and sedimentation control plan shown (need final approval letter)	✓		
31. Statement of ownership, signature and notarization shown (needs sign/notar)	✓		
32. Dedicatory statement shown (needs signatures/notarization)	✓		
33. Approval blocks shown	✓		
34. PADOT Highway Occupancy Permit statement shown	✓		
35. Consistency with Future Land Use plans - County plans	✓		
Municipal plans	✓		

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
LEONARD'S PLUMBING
DERRY TOWNSHIP, DAUPHIN COUNTY, PA



LOCATION MAP
1" = 2,000'

OWNER OF RECORD / SOURCE OF TITLE

CLIFFORD C. AND SUE A. MYERS
1066 OLD WEST CHOCOLATE AVE.
HERSHEY, PA 17033
PHONE: 717-514-9275

PARCEL I.D.: 24-008-008
INSTRUMENT NO.: 2150001641

EQUITABLE OWNER

MIKE AND DIANE LEONARD
1066 OLD WEST CHOCOLATE AVE.
HERSHEY, PA 17033
PHONE: 717-215-9473

ZONING DATA

ZONING DISTRICT:	INDUSTRIAL USE (I) / NORTH/SOUTH MASTER PLAN APPROVAL AREA OVERLAY	
	EXISTING	PROVIDED
LOT AREA:	43,560 SF (1 AC.)	34,579 S.F. (GROSS) (0.794 AC.) 30,831 S.F. (NET) (0.708 AC.)
FLOOR AREA RATIO:		6,259 S.F./30,831 S.F.
BUILDING AREA:		6,259 S.F.
LOT WIDTH:	125 FEET	100 FEET
FRONT YARD SETBACK:	40 FEET	20 FEET
SIDE YARD SETBACK:	40 FEET	20 FEET
REAR YARD SETBACK:	40 FEET	20 FEET
MAXIMUM IMPERVIOUS COVERAGE:	60%	16,723 S.F. (45%)
MAXIMUM VEGETATED COVERAGE:	30%	20,509 S.F. (55%)
BUILDING HEIGHT:	95 FEET	28 FEET

SITE DATA

	EXISTING	PROPOSED
PROPERTY USE:	RESIDENTIAL	COMMERCIAL USAGE: BUSINESS AND PROFESSIONAL OFFICES INDUSTRIAL USAGE: WAREHOUSING
WATER SERVICE:	PUBLIC	PUBLIC
SEWER SERVICE:	ON-LOT SEPTIC	ON-LOT SEPTIC

PARKING DATA

REQUIREMENT:	1 PER EMPLOYEE ON MAXIMUM SHIFT 12 EMPLOYEES (4 OFFICE PERSONAL, 8 PLUMBERS) = 12 PARKING STALLS
PROVIDED:	14 PARKING STALLS

SOIL DATA

ID	DESCRIPTION	SOIL GROUP
HaB2	HAGERSTOWN SILT LOAM - 3 TO 8% SLOPES, MODERATELY ERODED	B

TOWNSHIP OF DERRY
PLAT NO. 1388
SUBMISSION DATE: 5/7/2024

FINAL PLAN SIGNATURE BLOCK

REVIEWED BY DAUPHIN COUNTY PLANNING COMMISSION THIS ____ DAY OF ____ , 20__

CHAIRMAN _____ ROBERT SPANDLER

SECRETARY _____ JOSH FIRST

THIS PLAN APPROVED BY THE DERRY TOWNSHIP SUPERVISORS THIS ____ DAY OF ____ , 20__

CHAIRMAN _____ E. CHRISTOPHER ABRUZZO

SECRETARY _____ CARTER E. WYCKOFF

THIS PLAN APPROVED BY THE DERRY PLANNING COMMISSION THIS ____ DAY OF ____ , 20__

CHAIRMAN _____ MATT TUNNELL

SECRETARY _____ SEAN GUAY

CERTIFICATE OF ACCURACY CERTIFICATE (ENGINEER)

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE OF THE TOWNSHIP OF DERRY AND THAT ALL MONUMENTS AND METAL MARKERS HAVE BEEN PLACED AS REQUIRED BY § 185-18.

DATE _____ REGISTERED ENGINEER'S SIGNATURE _____
1100 NORTH MOUNTAIN ROAD
HARRISBURG, PA 17112
717-533-9077
PRINTED NAME _____

CERTIFICATE OF ACCURACY CERTIFICATE (SURVEY)

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE OF THE TOWNSHIP OF DERRY AND THAT ALL MONUMENTS AND METAL MARKERS HAVE BEEN PLACED AS REQUIRED BY § 185-18.

DATE _____ REGISTERED SURVEYOR'S SIGNATURE _____
1100 NORTH MOUNTAIN ROAD
HARRISBURG, PA 17112
717-533-9077
PRINTED NAME _____

INDEX OF DRAWINGS

SHEET NO.	SHEET TITLE
1	COVER SHEET
2	PLAN NOTES
3	EXISTING CONDITIONS PLAN
4	DEMOLITION PLAN
5	LAYOUT PLAN
6	UTILITY PLAN
7	PCSM PLAN
8	PCSM PROFILES
9	LIGHTING PLAN
10	LIGHTING PLAN
11	SITE DETAILS
12	PCSM DETAILS
ES1	ERSOSION & SEDIMENTATION CONTROL PLAN
ES2	EROSION & SEDIMENTATION CONTROL NOTES
ES3	EROSION & SEDIMENTATION CONTROL NOTES
ES4	EROSION & SEDIMENTATION CONTROL DETAILS

VARIANCES REQUESTED

THE FOLLOWING VARIANCES HAVE BEEN REQUESTED FROM THE DERRY TOWNSHIP ZONING HEARING BOARD.

- CHAPTER 225, ARTICLE III
§225-317 B. -MINIMUM LOT DEPTH
-ALLOWANCE TO REDUCE MINIMUM LOT DEPTH TO 100'
APPROVED BY THE DERRY TOWNSHIP ZONING HEARING BOARD: 03/20/2024

- CHAPTER 225, ARTICLE III
§225-317 C. - MINIMUM NON-RESIDENTIAL LOT AREA
-ALLOWANCE TO REDUCE MINIMUM NON-RESIDENTIAL LOT AREA TO 0.794 AC.
APPROVED BY THE DERRY TOWNSHIP ZONING HEARING BOARD: 03/20/2024

- CHAPTER 225, ARTICLE III
§225-317 - SETBACK FOR PRINCIPAL BUILDING
-REDUCE MINIMUM FRONT, SIDE, AND REAR SETBACKS TO 20'
APPROVED BY THE DERRY TOWNSHIP ZONING HEARING BOARD: 03/20/2024

- CHAPTER 225, ARTICLE III
§225-317 - SETBACK FOR SHED
-REDUCE SETBACK TO 4' OFF OF THE REAR PROPERTY BOUNDARY LINE
APPROVED BY THE DERRY TOWNSHIP ZONING HEARING BOARD: 03/20/2024

- CHAPTER 225, ARTICLE III
§225-317 - PARKING IN SETBACKS
-3' OFF RIGHT-OF-WAY, 4' OFF REAR PROPERTY BOUNDARY LINE
APPROVED BY THE DERRY TOWNSHIP ZONING HEARING BOARD: 03/20/2024

- CHAPTER 225, ARTICLE III
§225-317 - LOADING SPACE IN SETBACKS
-23' OFF OF OLD WEST CHOCOLATE AVENUE RIGHT-OF-WAY
APPROVED BY THE DERRY TOWNSHIP ZONING HEARING BOARD: 03/20/2024



CALL BEFORE YOU DIG!

Dial 8-1-1 or 1-800-242-1776 not less than 3 business days nor more than 10 business days prior to the start of excavation.

SERIAL No.: 20233071952

DERRY TOWNSHIP MUNICIPAL AUTHORITY
670 CLEARWATER RD
HERSHEY, PA. 17033
CONTACT: MICHAEL STOTTLER
EMAIL: mstotler@dtma.com
PHONE: 717-576-6826

LUMEN FORMERLY LEVEL 3
1025 ELDORADO BLVD
BROOMFIELD, CO. 80021
CONTACT: LUMEN OPERATOR PERSONNEL
EMAIL: RELOCATIONS@LUMEN.COM
PHONE: 877-368-6834EXT. 3

FIRSTENERGY CORPORATION
21 S MAIN ST
AKRON, OH. 44308
CONTACT: MELLYSSA ADAMS
EMAIL: madams@firstenergycorp.com
PHONE: 330-604-4407

PENNSYLVANIA-AMERICAN WATER CO.
200 CANAL ST
HUMMELSTOWN, PA. 17036
CONTACT: MICHAEL RAGER
EMAIL: michael.rager@amwater.com
PHONE: 717-554-4004

PPL ELECTRIC UTILITIES CORPORATION
437 BLUE CHURCH RD
PAXINOS, PA. 17860
CONTACT: DOUG HAUPT
EMAIL: dhaupt@pplweb.com
PHONE: 570-490-0568

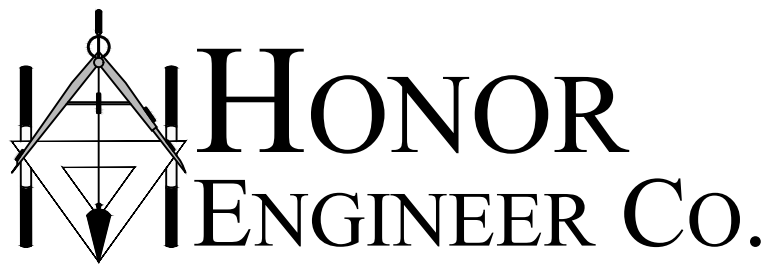
UGI UTILITIES INC
1301 AIP DR
MIDDLETOWN, PA. 17057
CONTACT: STEPHEN BATEMAN
EMAIL: sbateman@ugl.com
PHONE: 610-807-7317

WAVIER REQUESTS

THE FOLLOWING WAVIERS HAVE BEEN REQUESTED FROM THE DERRY TOWNSHIP ZONING HEARING BOARD.

- ORDINANCE NO. 2023-08, ARTICLE VII - DESIGN CRITERIA
§174-20. DESIGN CRITERIA FOR STORMWATER MANAGEMENT AND DRAINAGE FACILITIES.
C. STORM SEWER FACILITIES, (2) MINIMUM PIPE SIZE OF FIFTEEN (15) INCHES
-ALLOWANCE TO REDUCE MINIMUM PIPE SIZE TO TWELVE (12) INCHES.

REV.	DESCRIPTION	DATE

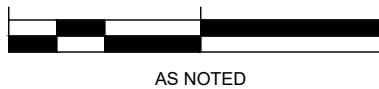


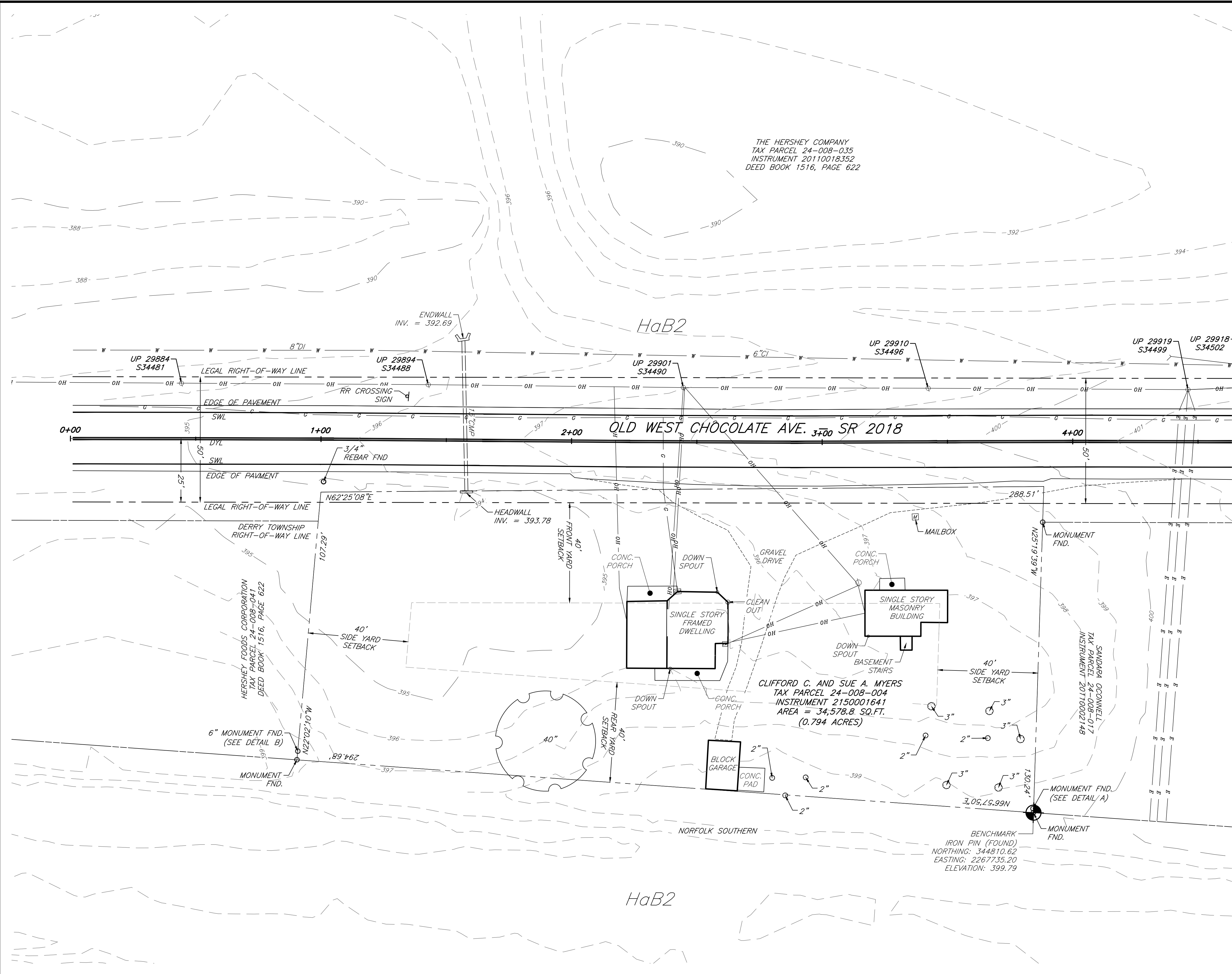
1100 NORTH MOUNTAIN ROAD
HARRISBURG, PA 17112
WWW.HONOREENGINEER.COM

PRELIMINARY/ FINAL LAND DEVELOPMENT
FOR
LEONARD'S PLUMBING
1066 OLD WEST CHOCOLATE AVENUE
HERSHEY, PA 17033
DERRY TOWNSHIP
DAUPHIN COUNTY, PENNSYLVANIA

PROJECT #:	478-2301
DRAWING DATE:	05/07/2024
DRAWN BY:	JSE
CHECKED BY:	JAM
SCALE:	AS NOTED

COVER SHEET





LEGEND

EXISTING FEATURES

PROPERTY BOUNDARY

ADJOINING PROPERTY BOUNDARY

BUILDING SETBACK

EDGE OF PAVEMENT

PAVEMENT MARKING

GRAVEL

OH

OVERHEAD WIRES

UTILITY POLE

E

UNDERGROUND ELECTRIC

STORM SEWER PIPE

STORM SEWER MANHOLE

STORM SEWER ENDWALL

G

GAS MAIN

GM

GAS METER

400

MAJOR CONTOUR

397

MINOR CONTOUR

HaB2

SOIL IDENTIFICATION

▲

SIGN

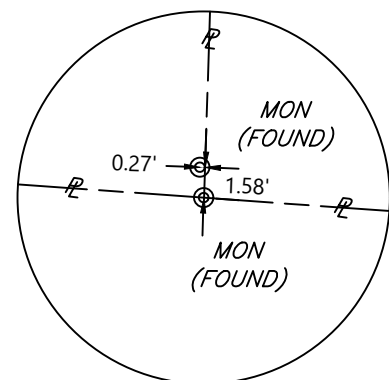
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CONIFER

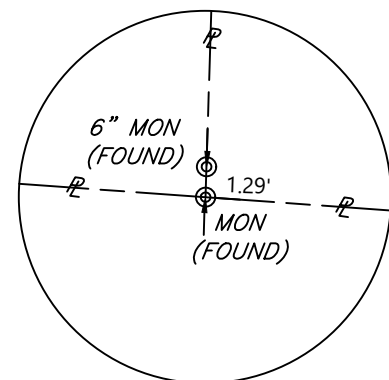
DECIDUOUS TREE

BENCHMARK

SOIL DATA		
ID	DESCRIPTION	SOIL GROUP
HaB2	HAGERSTOWN SILT LOAM - 3 TO 8% SLOPES, MODERATELY ERODED	B

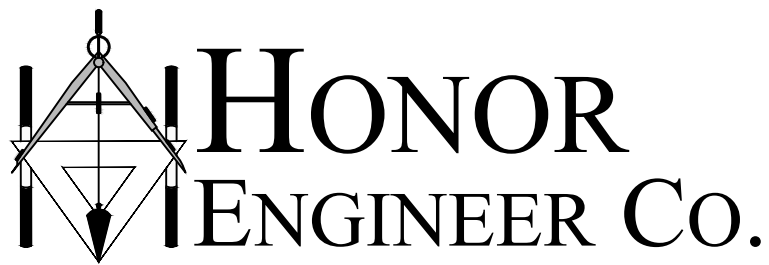


DETAIL A
NOT TO SCALE



DETAIL B
NOT TO SCALE

REV.	DESCRIPTION	DATE

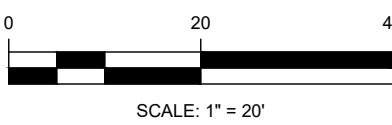


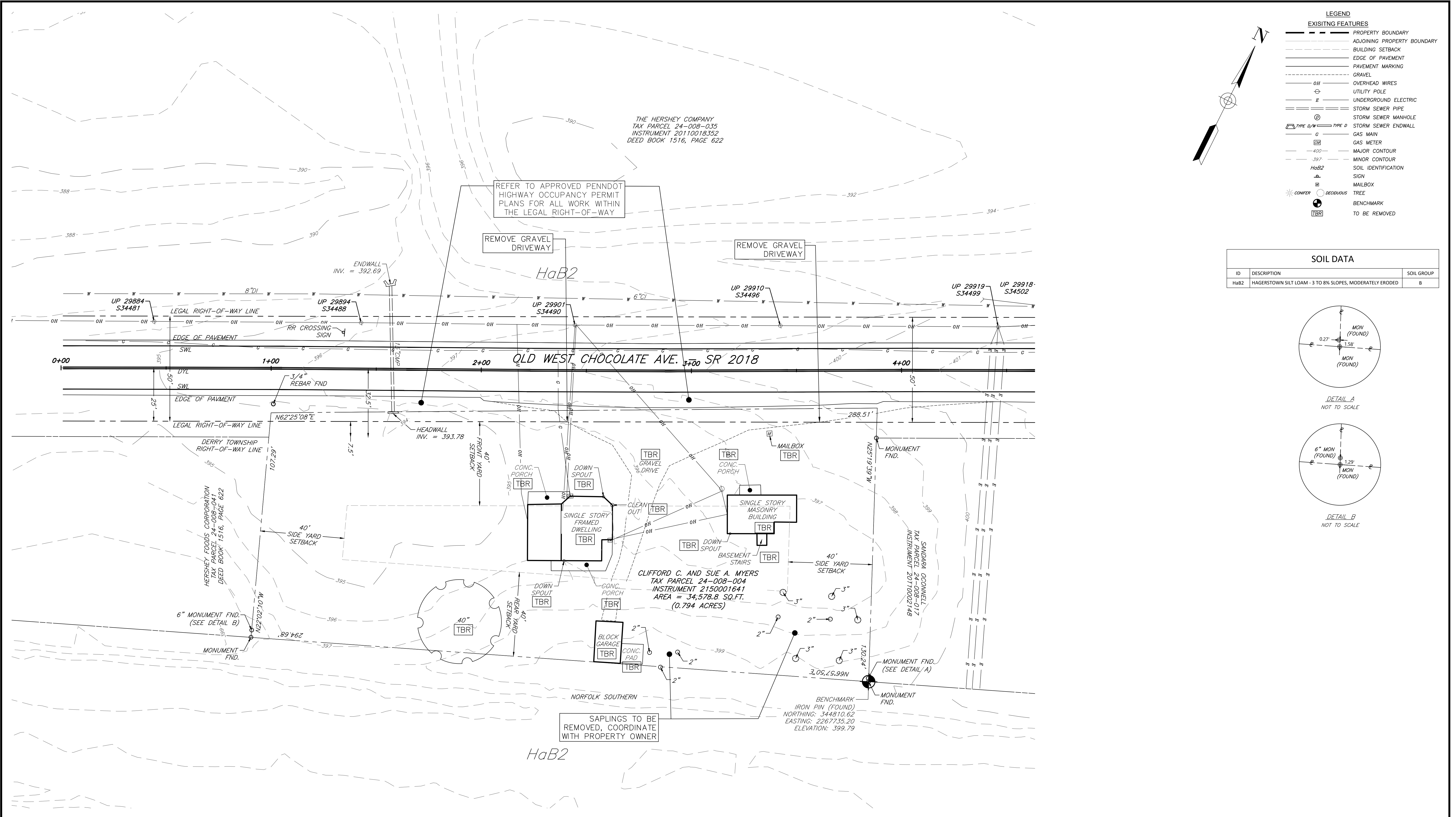
1100 NORTH MOUNTAIN ROAD
HARRISBURG, PA 17112
WWW.HONORENGINEER.COM

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EXISTING CONDITIONS





LEGEND

EXISTING FEATURES

- PROPERTY BOUNDARY
- ADJOINING PROPERTY BOUNDARY
- BUILDING SETBACK
- EDGE OF PAVEMENT
- PAVEMENT MARKING
- GRAVEL
- OVERHEAD WIRES
- UTILITY POLE
- UNDERGROUND ELECTRIC
- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER ENDWALL
- GAS MAIN
- GAS METER
- MAJOR CONTOUR
- MINOR CONTOUR
- SOIL IDENTIFICATION
- SIGN
- MAILBOX
- BENCHMARK
- TO BE REMOVED

PROPERTY BOUNDARY

ADJOINING PROPERTY BOUNDARY

BUILDING SETBACK

EDGE OF PAVEMENT

PAVEMENT MARKING

GRAVEL

OVERHEAD WIRES

UTILITY POLE

UNDERGROUND ELECTRIC

STORM SEWER PIPE

STORM SEWER MANHOLE

STORM SEWER ENDWALL

GAS MAIN

GAS METER

MAJOR CONTOUR

MINOR CONTOUR

SOIL IDENTIFICATION

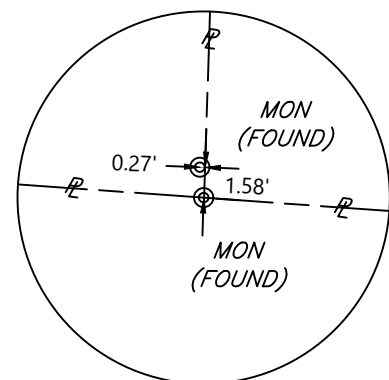
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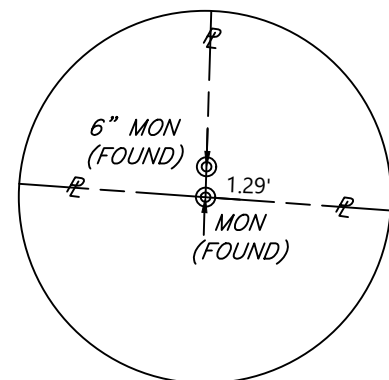
BENCHMARK

TO BE REMOVED

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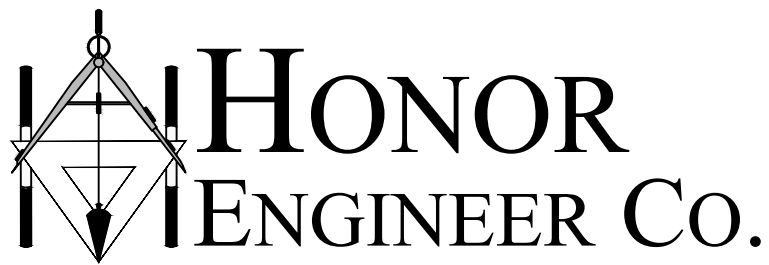


DETAIL A
NOT TO SCALE



DETAIL B
NOT TO SCALE

REV.	DESCRIPTION	DATE

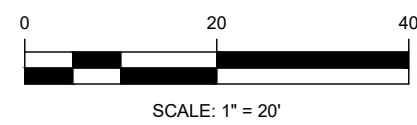


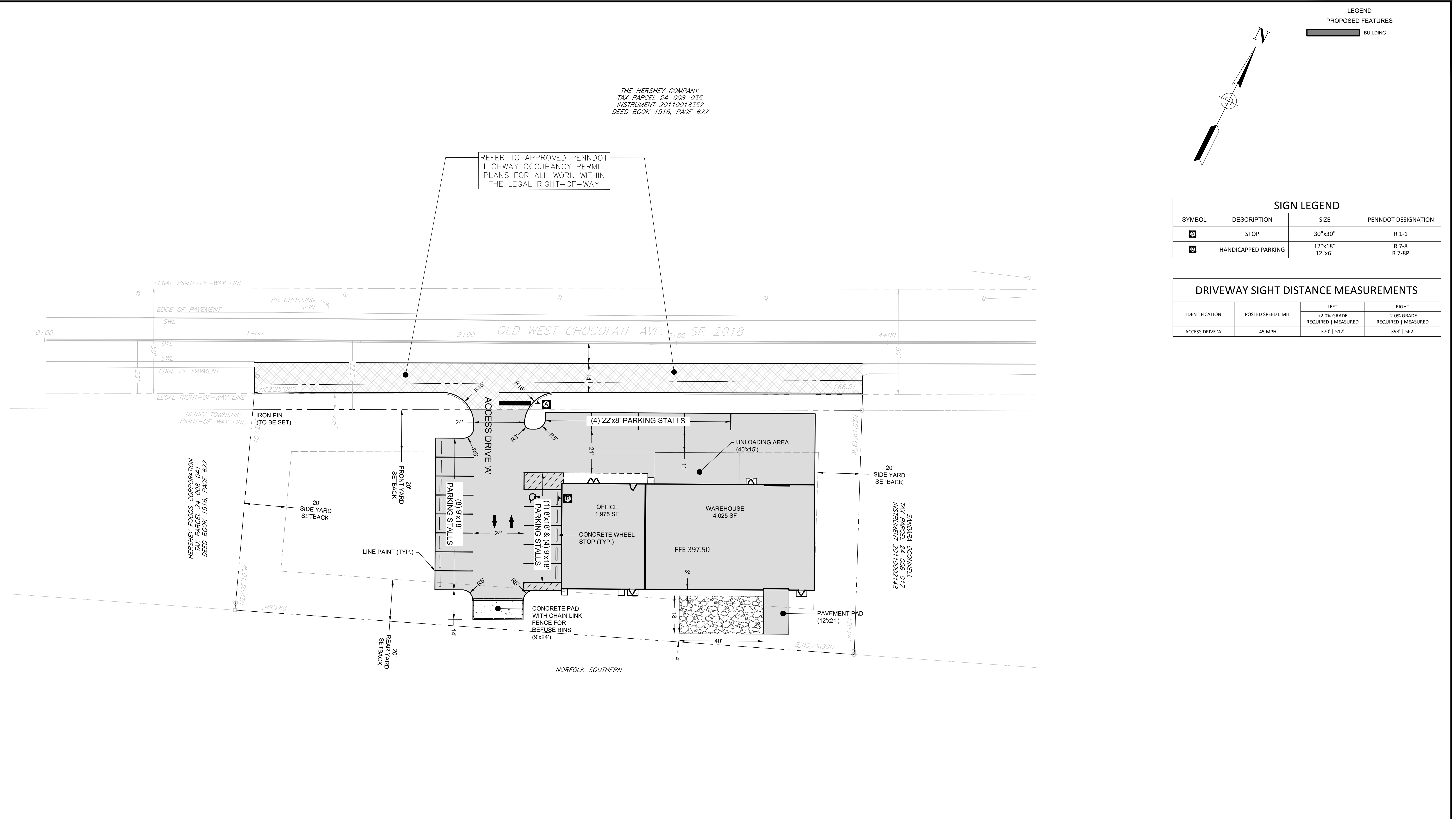
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CHECKED BY:	JAM
SCALE:	AS NOTED

DEMOLITION PLAN





LEGEND

PROPOSED FEATURES

BUILDING

SIGN LEGEND			
SYMBOL	DESCRIPTION	SIZE	PENNDOT DESIGNATION
	STOP	30"x30"	R 1-1
	HANDICAPPED PARKING	12"x18" 12"x6"	R 7-8 R 7-8P

DRIVEWAY SIGHT DISTANCE MEASUREMENTS			
IDENTIFICATION	POSTED SPEED LIMIT	LEFT	RIGHT
		+2.0% GRADE REQUIRED MEASURED	-2.0% GRADE REQUIRED MEASURED
ACCESS DRIVE 'A'	45 MPH	370' 517'	398' 562'

REV.	DESCRIPTION	DATE

HONOR
ENGINEER Co.

1100 NORTH MOUNTAIN ROAD
HARRISBURG, PA 17112
WWW.HONORENGINEER.COM

PRELIMINARY/ FINAL LAND DEVELOPMENT

FOR

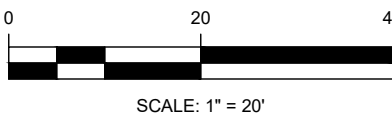
LEONARD'S PLUMBING

1066 OLD WEST CHOCOLATE AVENUE
HERSHEY, PA 17033

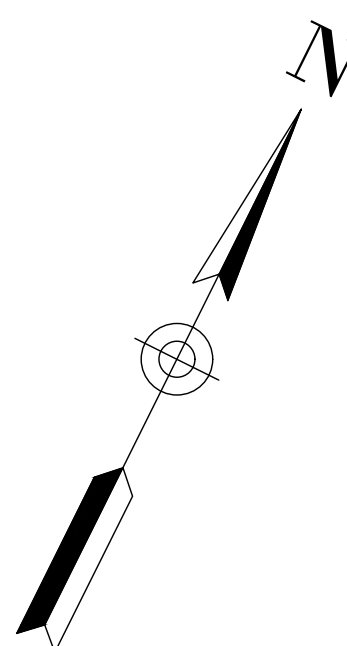
DERRY TOWNSHIP
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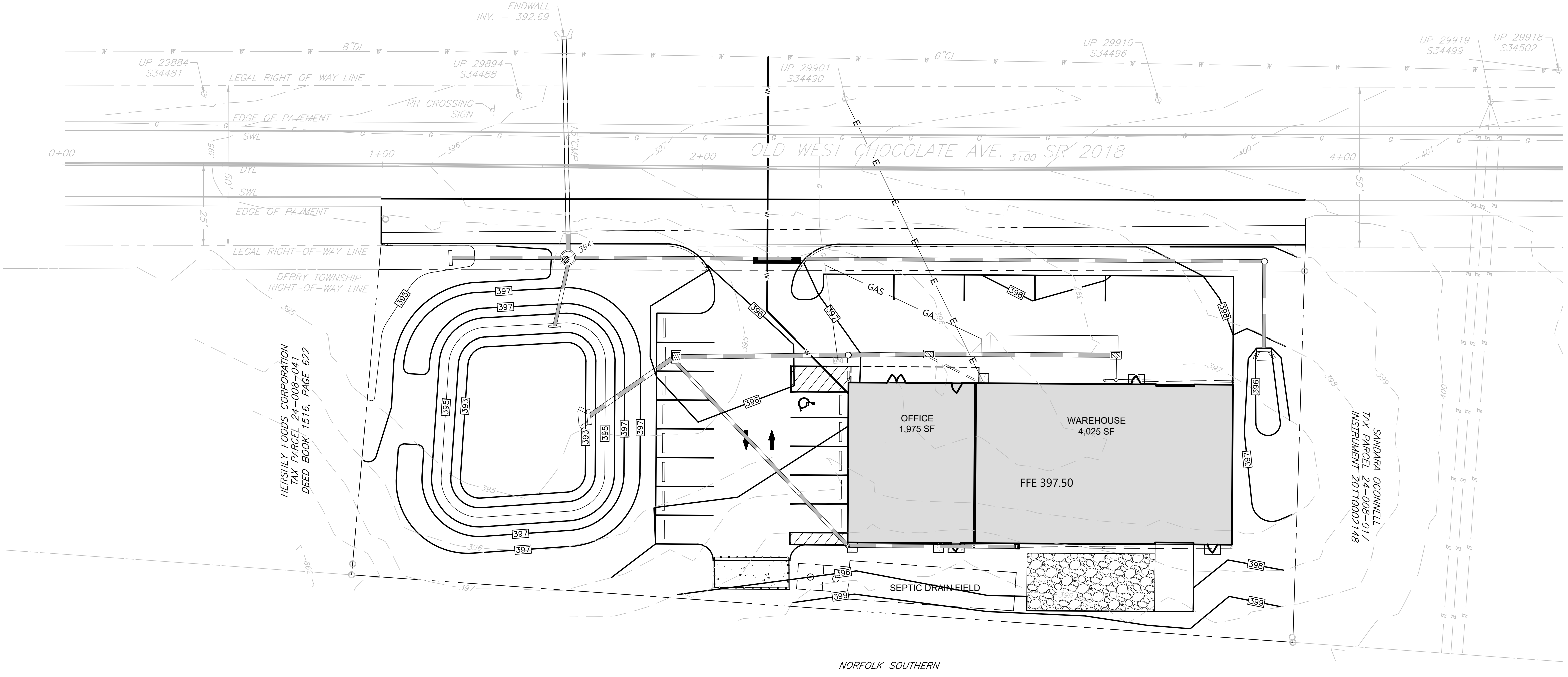
LAYOUT PLAN



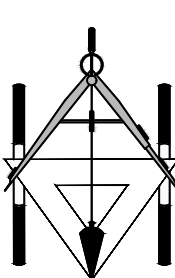
THE HERSHEY COMPANY
TAX PARCEL 24-008-035
INSTRUMENT 20110018352
DEED BOOK 1516, PAGE 622



LEGEND	
PROPOSED FEATURES	
	WATERLINE
	FIRE HYDRANT
	VALVE
	CONTACT PIPE
	SAN. SEWER
	MAJOR CONTOUR
	MINOR CONTOUR
	SEEPAGE PIT
	LIMIT OF DISTURBANCE



REV.	DESCRIPTION	DATE



HONOR
ENGINEER Co.

1100 NORTH MOUNTAIN ROAD
HARRISBURG, PA 17112
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UTILITY PLAN



SCALE: 1" = 20'