

DAUPHIN COUNTY SUBDIVISION/LAND DEVELOPMENT REVIEW REPORTMunicipality Swatara T. Surveyor Hoover Engineering Engineer Plat Title 1031 Eisenhower Boulevard P/F LD and SD PlanZoning District CG – Commercial General Proposed Land Use Restaurant/ Pool Hall

Plat Status:	<u> </u> Preliminary	Plat Type:	<u> </u> Subdivision	Regulations:	<u> </u> County
	<u> </u> Final		<u> </u> Land Development		<u> X </u> Municipal
	<u> </u> P/F		<u> X </u> Combined		<u> X </u> Zoning
	<u> X </u> Minor				<u> X </u> S&LD

# of Lots	<u> 2 </u>	# of New Lots	<u> 0 </u>	# of DUs	<u> 0 </u>	Acs Subdiv/Devel	<u> 2.63 </u>	Total Acs	<u> 2.63 </u>
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Date Received	<u> 10/24/25 </u>	Staff Review	<u> 10/30/25 </u>	Official County Review	<u> 10/30/2025 </u>
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Reviewed by GD Checked by ARK Parcel ID 63-062-068**Project Description** Construct a 5,160 SF building to be used as a pool hall. .

- *When applicable, streets, sewer, water, storm drainage, and other infrastructure elements are to be verified as adequate by municipal staff/engineer. Any improvement guarantees shall be posted prior to final plat approval.*
- *Registered PA Land Surveyor is required to certify all lot/tract boundary descriptions.*
- *When applicable, zoning compliance is to be verified by the Municipal Zoning Officer.*
- *Appropriate sewage module components should be processed prior to final plat approval.*
- *Final plans must be recorded within 90 days of approval.*

Review comments with cited ordinance provisions are based on municipal regulations on file with the *County Planning Commission*.

Waivers Requested:

Preliminary Plan (§253-11)

Deferral of Sidewalks (§253-32)

SALDO Administrative Comments:

1. All signatures, certifications, and notarizations must be obtained before the plan is brought in for signing.
2. The municipal engineer is to recommend for the approval of the stormwater management plan prior to MC approval. (Section § 253-14. A.19.h)
3. The proposed driveways must comply with S&LDO §253-16 and should be reviewed by the Township Engineer to ensure compliance. It is unclear whether the driveways are intended to be full-access or configured as one-way (e.g., one entrance and one exit), as the internal traffic patterns suggest such a design. However, the plan lacks clarity regarding striping and signage, which should be addressed to confirm the intended traffic flow.
4. The current plan does not include sidewalk construction, which is required to comply with §253-32. Sidewalks must be installed along all streets. Further discussions with the developer may lead to modifications in sidewalk design or consideration of alternative pedestrian pathways. Although a

deferment has been requested, proper justification must be provided to support the exclusion of sidewalks at this stage of development.

Zoning Comments:

1. No lighting plan has been provided. Although the notes indicate that no new lighting will be installed and only existing fixtures will be relocated, the inclusion of lighting pole details suggests that new lighting may be proposed. If the redesign of the driveway and parking areas requires modifications to the existing lighting, compliance with applicable zoning provisions must be demonstrated

General Comments:

1. The plan appears to be the consolidation of two lots into one lot containing two structures. However, it is unclear whether these constitute two distinct buildings or a single connected structure. Clarification is needed, as this distinction could impact building code requirements, expansion of non-conforming items (ie setbacks) and future redevelopment considerations as it relates to the adequacy of parking provisions on the site.
2. While the plan appears to satisfy the lot coverage and green space requirements, this is primarily achieved through areas that are not centrally located or adjacent to the developed portion of the site. Has consideration been given to incorporating green infrastructure or planters within the parking area to enhance both stormwater management and the visual appeal of the site?

No. 25-115

	Yes	No	N/A
1. Name of proposed subdivision/land development shown	X		
2. Owner/developer name, address & telephone number shown	X		
3. Municipality name shown	X		
4. Tax parcel number/Deed reference shown	X		
5. North point shown	X		
6. Map scale shown (written/graphic)	X		
7. Date of plan preparation shown	X		
8. Certification of surveyor/engineer shown	X		
9. Location map shown	X		
10. Total property map (bearings, distances, area, primary control point) shown	X		
11. Names of adjacent landowners/subdivision shown	X		
12. Lot numbers shown	X		
13. Lot dimensions shown	X		
14. Lot areas shown	X		
15. Permanent monuments and markers shown (<i>primary control point?</i>)	X		
16. Building setbacks shown	X		
17. Existing natural features shown - Wetlands)		X	
Floodplains			X
Woodlands, streams, etc.	X		
18. Contours at required interval shown	X		
19. Easements shown and identified			
20. Existing man-made features shown - Building (s)	X		
Storm drainage facilities)	X		
Sewer mains/Septic	X		
Water mains/Well	X		
21. Proposed man-made features shown – Building (s)	X		
Storm drainage facilities	X		
Sewer disposal– public (X) on-lot ()	X		
Water supply – public (X) well ()	X		
22. Existing streets shown - Name-	X		
R/W width-	X		
Paving width-	X		
Dedicated R/W width-	X		
23. Proposed streets shown – Name			X
R/W width			X
Paving width			X
Profiles			X
24. Curbs shown (<i>only bumper blocks on site, curbs on driveway</i>)	X		
25. Sidewalks shown (<i>see note</i>)		X	
26. Existing and proposed coverage shown	X		
27. Parking schedule provided shown (see note)	X		
28. Traffic study completed (<i>see note about driveways</i>)		X	
29. Recreation area shown/fee in-lieu-of provided (if relevant?)		X	
30. Erosion and sedimentation control plan shown		X	
31. Statement of ownership	X		
32. Dedicatory statement shown	X		
33. Approval blocks shown	X		
34. PADOT Highway Occupancy Permit statement shown		X	
35. Consistency with Future Land Use plans - County plans	X		
Municipal plans	X		

PRELIMINARY / FINAL
LAND DEVELOPMENT AND SUBDIVISION PLAN
FOR
**1031 EISENHOWER
BOULEVARD**
SWATARA TOWNSHIP, DAUPHIN COUNTY, PA.

PUBLIC UTILITIES

VEOLIA WATER
4211 EAST PARK CIRCLE
HARRISBURG, PA. 17111
ATTN: KIM GENETTI
PHONE: 717-561-110

VERIZON PENNSYLVANIA INC.
11 TH. FLOOR
STRAWBERRY SQUARE
HARRISBURG, PA. 17101
ATTN: ROBERT ZIMMEL
PHONE: 717-777-3951

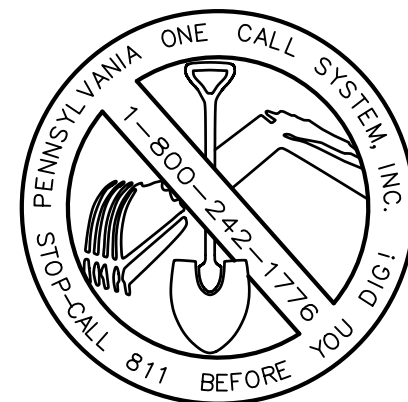
PPL ELECTRIC UTILITIES
1801 BROOKWOOD STREET
HARRISBURG, PA. 17107-2222
ATTN: JEANETTE ANDERSON
PHONE: 717-257-5693

COMCAST CABLE
COMMUNICATIONS, INC.
4601 SMITH STREET
HARRISBURG, PA. 17109
ATTN: VICKIE MAXWELL
PHONE: 717-651-1913

SUNOCO PIPELINE, LP
525 FRITZTOWN ROAD
SINKING SPRING, PA. 19609
ATTN: ONE CALL DEPARTMENT

UGI UTILITIES, INC.
1500 PAXTON STREET
HARRISBURG, PA. 17104
ATTN: DOUG VENE
PHONE: 717-255-4311

SWATARA TOWNSHIP AUTHORITY
8675 PAXTON STREET
HUMMELSTOWN, PA. 17036-8601
ATTN: THOMAS KOVICH
PHONE: 717-566-3361



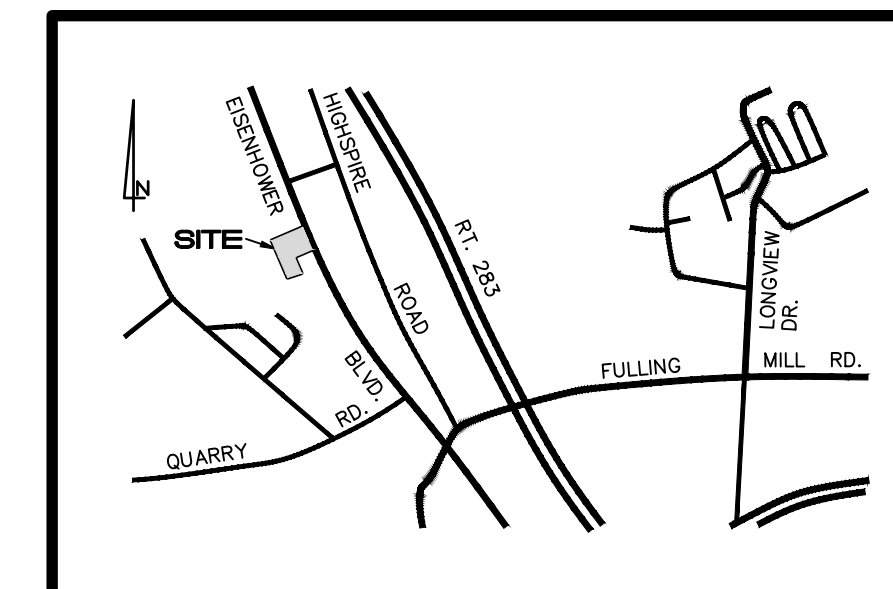
LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED UPON SURFACE EVIDENCE AND EXISTING DRAWINGS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE BY HOOVER ENGINEERING SERVICES, INC. CONTRACTORS TO CONTACT PA. ONE CALL SYSTEMS, INC. (1-800-242-1776) TO ESTABLISH EXISTING UTILITY LOCATIONS AT LEAST THREE(3) WORKING DAYS PRIOR TO THE START OF ANY EARTHMOVING ACTIVITIES.

SHEET INDEX

- LD 1 - COVER SHEET
LD 2 - EXISTING FEATURES / SUBDIVISION PLAN
LD 3 - SITE PLAN

PLAN DATE

OCTOBER 16, 2025



LOCATION MAP
SCALE : 1"=2000'

OWNER :
TRI-STATE UP&A LLC,
1002 JEFFERSON DRIVE
MIDDLETOWN, PA. 17057
PH. 717-439-1021
DEED INSTRUMENT No. 20250019384

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF DAUPHIN
ON THIS THE ____ DAY OF ____ 20__ BEFORE ME THE UNDERSIGNED
PERSONALLY APPEARED

OWNER (S) _____

OWNER (S) _____

OWNER (S) _____

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY
THAT THEY ARE THE OWNER(S) OF THE PROPERTY SHOWN ON THIS
PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT
AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH
ACCORDING TO LAW.

WITNESS MY HAND AND NOTORIAL SEAL THE DAY AND THE DATE
ABOVE WRITTEN

MY COMMISSION EXPIRES _____ NOTARY PUBLIC

IT IS HEREBY CERTIFIED THAT THE UNDERSIGNED ARE THE
EQUITABLE OWNERS OF THE PROPERTY SHOWN ON THIS PLAT AND
THAT ALL STREETS OR PARTS THEREOF, IF NOT PREVIOUSLY
DEDICATED, ARE HEREBY TENDERED FOR DEDICATION TO PUBLIC
USE.

OWNER (S) _____

OWNER (S) _____

OWNER (S) _____

DAUPHIN COUNTY PLANNING COMMISSION :

THIS PLAN REVIEWED BY THE DAUPHIN COUNTY PLANNING COMMISSION
THIS ____ DAY OF ____ 20__.

CHAIRMAN _____

SECRETARY _____

SWATARA TOWNSHIP PLANNING COMMISSION :

THIS PLAN RECOMMENDED FOR APPROVAL BY THE SWATARA
TOWNSHIP PLANNING COMMISSION
THIS ____ DAY OF ____ 20__.

CHAIRMAN _____

SECRETARY _____

SWATARA TOWNSHIP BOARD OF COMMISSIONERS :

THIS PLAN APPROVED BY THE BOARD OF COMMISSIONERS OF
SWATARA TOWNSHIP
THIS ____ DAY OF ____ 20__.

PRESIDENT _____

SECRETARY _____

SHEET 1 OF 3 TO BE RECORDED

THIS PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS
IN AND FOR DAUPHIN COUNTY, PA.

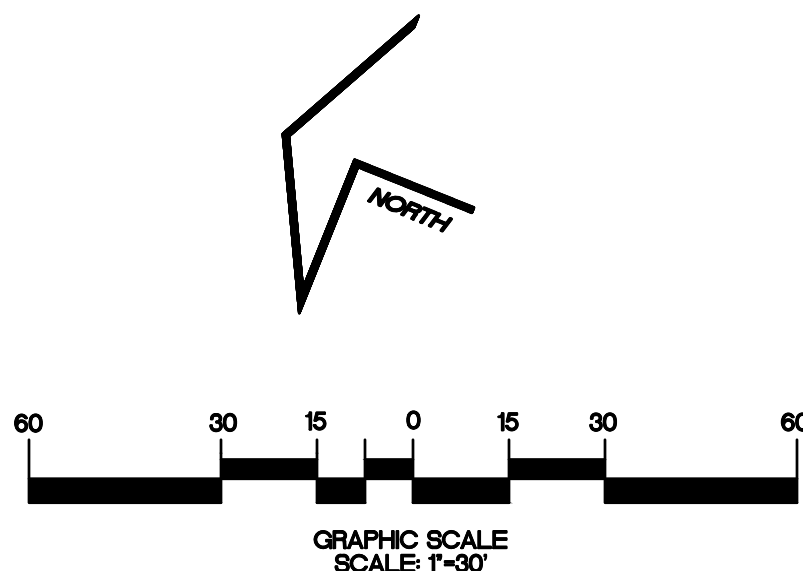
THIS ____ DAY OF ____ 20__.

PLAN BOOK ____ VOLUME ____ PAGE ____

I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN

CHRIS A. HOOVER, PE, PLS

HOOVER
ENGINEERING SERVICES, INC.
ENGINEERS * PLANNERS * SURVEYORS
658 GAUMER RD. - SUITE 100
NEW CUMBERLAND PA. 17070-2823
TELEPHONE (717) 770-0100 FAX (717) 770-1557



ZONING OF TRACT : C-G GENERAL COMMERCIAL DISTRICT
PROPERTY ID : 63-062-068-000-0000
INST. # : 20250019384
EXISTING METHOD OF SEWAGE DISPOSAL = ON LOT
METHOD OF WATER SUPPLY = ON LOT

C-G GENERAL COMMERCIAL DISTRICT
MINIMUM LOT AREA : 20,000 S.F.
MINIMUM LOT WIDTH : 80 FEET
MAXIMUM BUILDING COVERAGE : 60%
MAXIMUM IMPERVIOUS COVERAGE : 80%
MINIMUM FRONT YARD : 100 FEET ALONG EISENHOWER BLVD.
MINIMUM SIDE YARD : 10 FEET
MINIMUM REAR YARD : 25 FEET
MAXIMUM PERMITTED HEIGHT : 120 FEET

LOT AREA : 113,850.15 S.F. (2.6136 AC.) = 100.00%
 BUILDING AREA : 4,743 S.F. (0.11 AC.) = 4%
 MACADAM / GRAVEL AREA : 59,483 S.F. (1.36 AC.) = 52%
 TOTAL IMPERVIOUS AREA : 64,226 S.F. (1.47 AC.) = 56%
 TOTAL GREEN AREA : 49,624.15 S.F. (1.14 AC.) = 44%

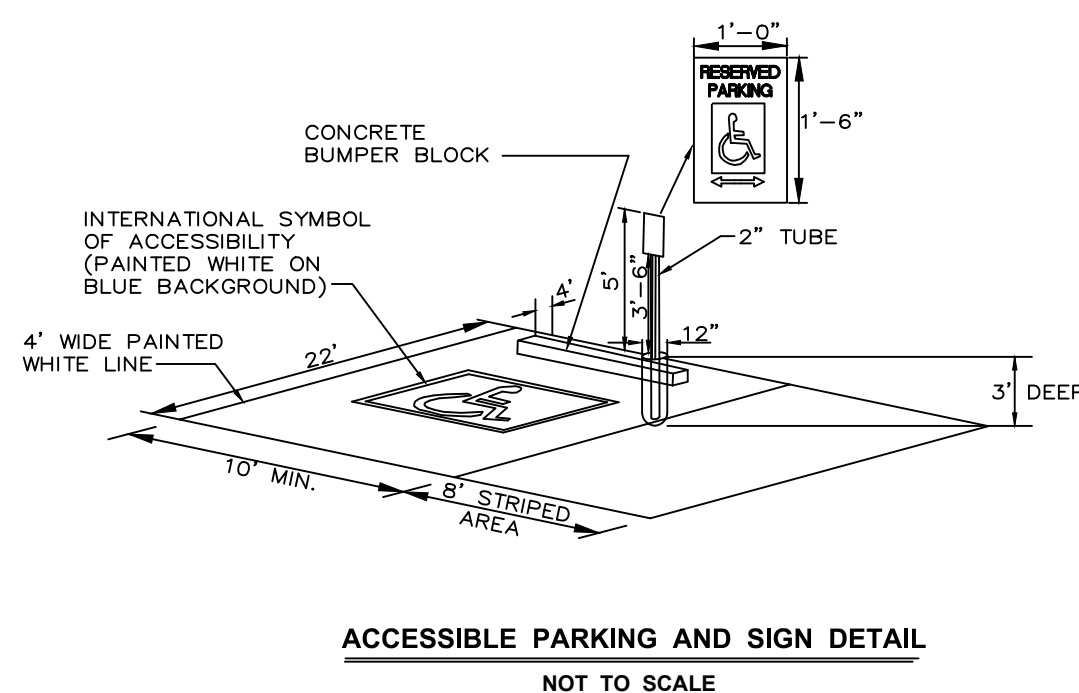
BeB2 - BEDINGTON SHALY SILT LOAM 3 TO 8% SLOPES, MODERATELY ERODED

BeC2 - BEDINGTON SHALY SILT LOAM, 8 TO 15 % SLOPES, MODERATELY ERODED

BtB2 - BRINKERTON AND ARMAGH SILT LOAMS, 3 TO 8% SLOPES, MODERATELY ERODED

WeE2 - WEIKERT SHALY SILT LOAM, 25 TO 40 % SLOPES, MODERATELY ERODED

3. THE PURPOSE OF THIS PLAN IS AS FOLLOWS:
 - a. CONSOLIDATE TRACTS 1 AND 2 AS SHOWN ON DEED RECORD IN INSTRUMENT 20250019384S INTO ONE LOT. A NEW DEED SHALL BE PREPARED AND RECORDED IN THE RECORDER OF DEEDS OFFICE FOR DAUPHIN COUNTY ON APPROVAL OF THE SUBDIVISION PLAN.
 - b. ILLUSTRATE THE PROPOSED 5,160 SQUARE FOOT BUILDING ADDITION TO THE EXISTING RESTAURANT/AVERN BUILDING.
 - c. ILLUSTRATE THE RESTRIPING OF THE PARKING LOT TO PROVIDE REQUIRED PARKING SPACES AND DRIVING ALLIES PER THE SWATARA TOWNSHIP ZONING ORDINANCE.
2. PERIMETER INFORMATION AS SHOWN IS BASED UPON THE FOLLOWING:
 - a. FIELD SURVEY CONDUCTED BY HOOVER ENGINEERING SERVICES, INC. SURVEY PERFORMED SEPTEMBER, 2025.
 - b. SITE DEED REFERENCES RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS FOR DAUPHIN COUNTY: INSTRUMENT 20250019384.
 - c. RECORDED SUBDIVISION PLAN ENTITLED "FINAL PLAN SUBDIVISION PLAN FOR ROBERT M. BENDER, RECORDED IN PLAN BOOK E, VOLUME 4, PAGE 42."
3. TOPOGRAPHIC INFORMATION AS SHOWN IS BASED UPON A FIELD SURVEY PERFORMED BY HOOVER ENGINEERING SERVICES, INC. SEPTEMBER, 2025. A JACENT TOPOGRAPHIC INFORMATION TAKEN FROM P.A.S.D.A. LIDAR MAPPING INFORMATION.
4. CONTOUR INFORMATION BASED UPON 1986 NGV DATUM. SITE BENCHMARK IS TOP OF INLET GRATE LOCATED EAST OF EISHNOWBOUR BOULEVARD. BENCHMARK ELEVATION = 479.77.
5. THE FOLLOWING EXISTING NON-CONFORMING STRUCTURES/USES ARE LOCATED ON THE SUBJECT PROPERTIES:
 - a. THE EXISTING RESTAURANT/AVERN BUILDING IS LOCATED WITHIN THE FRONT YARD SETBACK.
6. THERE ARE NO WETLANDS LOCATED WITHIN THE AREA OF PROPOSED CONSTRUCTION BASED UPON A WETLAND INVESTIGATION PERFORMED BY HOOVER ENGINEERING SERVICES, INC. THE AREA IS EXISTING MACADAM PAVING.
7. UTILITIES AS SHOWN ARE BASED UPON FIELD SURVEYED INFORMATION, RECORDED SUBDIVISION AND LAND DEVELOPEMENT PLANS, AND INFORMATION PROVIDED BY OTHERS. HOOVER ENGINEERING SERVICES, INC. DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF SAID LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITY LOCATIONS PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL SAFEGUARD ALL UTILITIES DURING CONSTRUCTION.
8. IRON PINS SHALL BE PLACED AT ALL PROPOSED PROPERTY CORNERS WHERE NO MONUMENTATION CURRENTLY EXISTS. MARKERS AND MONUMENTS SHALL BE PER THE REQUIREMENTS OF THE SWATARA TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.
9. NO KNOWN PROTECTIVE COVENANTS OR DEED RESTRICTIONS ARE ASSOCIATED WITH THIS PROPERTY BASED UPON REVIEW OF CURRENT DEED INFORMATION.
10. NO 100 YEAR FLOOD PLAIN OR FLOOD HAZARD AREAS ARE LOCATED ON THIS TRACT BASED UPON A REVIEW OF F.E.M.A. MAPPING FOR SWATARA TOWNSHIP, DAUPHIN COUNTY, PANEL 42043C0431D, EFFECTIVE DATE 8/2/2012.
11. THERE ARE SIGNIFICANT STEEP SLOPE AREAS (15% OR GREATER) LOCATED ON THE SITE ALONG THE WESTERN PROPERTY LINE. NO DEVELOPMENT OR DISTURBANCE OF THE STEEP SLOPES IS PROPOSED.
12. A P.A. ONE-CALL SYSTEM NOTIFICATION HAS BEEN USED TO IDENTIFY KNOWN UTILITY LOCATIONS. SERIAL NO. 20222223500, 9/16/2025.
13. NO SPECIAL EXCEPTIONS OR CONDITIONAL USES ARE REQUIRED FOR THIS PROJECT.
14. THE CONTRACTOR SHALL REFERENCE THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
15. ALL DIMENSIONS SHALL BE TO THE FACE OF THE BUILDING OR FACE OF CURB/EDGE OF MACADAM UNLESS OTHERWISE INDICATED.
16. THE CONTRACTOR SHALL SAW CUT ALL JOINTS WHERE PROPOSED CONSTRUCTION MEETS EXISTING PAVEMENT.
17. ALL PROPOSED PUBLIC IMPROVEMENT CONSTRUCTION SHALL BE INSTALLED PER THE SWATARA TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND/OR THE PENNDOT 408 AND RC STANDARDS, LATEST EDITIONS.
18. THE DEVELOPER AGREES TO COMPLY WITH ALL APPLICABLE REGULATIONS IN EFFECT AT THE TIME OF THE PLAN SUBMISSION.
19. NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT.
20. NO NEW SITE LIGHTING IS PROPOSED WITH THIS SUBMISSION. EXISTING SITE LIGHTING SHALL BE RELOCATED AS INDICATED.
21. THE CONTRACTOR SHALL IMPLEMENT EROSION AND SEDIMENTATION CONTROL FEATURES SUCH AS COMPOST SOCKS OR EQUIVALENT DOWNSTREAM OF THE PROPOSED CONSTRUCTION. AN EROSION AND SEDIMENTATION CONTROL PLAN IS NOT REQUIRED DUE TO 834 SQUARE FEET OF DISTURBANCE ANTICIPATED.
22. NO INCREASE IN STORMWATER RUNOFF WILL OCCUR AS A RESULT OF THE PROPOSED BUILDING ADDITION DUE TO ITS BEING PLACED UPON EXISTING IMPERVIOUS COVERAGE.
23. THE PROPOSED START OF CONSTRUCTION - WINTER, 2025. THE PROJECT SHALL BE DEVELOPED IN ONE PHASE
24. WORK ZONE TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 213, IF REQUIRED.
25. NOTICE SHALL BE PROVIDED TO SWATARA TOWNSHIP A MINIMUM OF FORTY-EIGHT(48) HOURS PRIOR TO ANY REQUIRED INSPECTION.



PLAN BOOK _____ VOLUME _____ PAGE _____

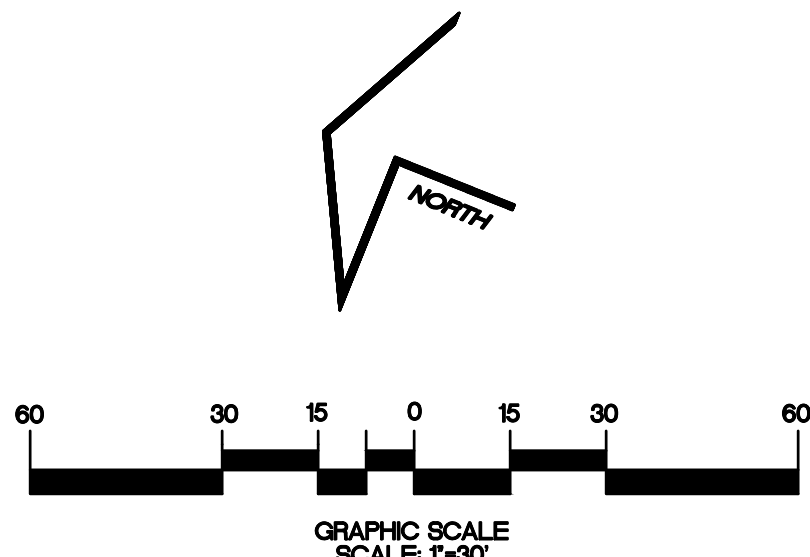
**EXISTING FEATURES /
SUBDIVISION PLAN
FOR
1031 EISENHOWER
BOULEVARD
SWATARA TOWNSHIP, DAUPHIN COUNTY.**

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HOOVER

ENGINEERING SERVICES, INC.

ENGINEERS * PLANNERS * SURVEYORS
659 GAUMER ROAD SUITE 100
NEW CUMBERLAND PA. 17070-2823
TELEPHONE (717) 770-0100 FAX (717) 770-1557



LOT AREA : 113,850.15 S.F. (2.6136 AC.) = 100.00%
BUILDING AREA : 9,903 S.F. (0.22 AC.) = 8%
MACADAM AREA : 54,323 S.F. (1.25 AC.) = 48%
TOTAL IMPERVIOUS AREA : 64,226 S.F. (1.47 AC.) = 56%
TOTAL GREEN AREA : 49,624.15 S.F. (1.14 AC.) = 44%

TOTAL SPACES PROVIDED = 93 SPACES (4 ACCESSIBLE)

1. ALL ELEVATIONS SHOWN ARE REFERENCED TO BENCHMARKS AND SHALL BE VERIFIED BY THE CONTRACTOR AT GROUND BREAKING.
2. THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN TEMPORARY BENCHMARKS WITHIN THE PROJECT AREA.
3. THE CONTRACTOR SHALL FIELD VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AT THE PROJECT SITE.
4. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS OF ACT 187, NOTIFICATION OF UTILITIES PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL SAW CUT ALL JOINTS A MINIMUM OF 1 FOOT BEYOND WHERE THE PROPOSED CONSTRUCTION SHALL MEET THE EXISTING PAVING OR CONCRETE.
6. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH PENN-DOT PUBLICATION 408, (SPECIFICATIONS) AND PENN-DOT PUBLICATION 72 (R-DRAWINGS), CURRENT EDITION(S), UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
7. ALL GRADED AREAS WHICH DO NOT RECEIVE PAVING SHALL RECEIVE A MINIMUM OF 6" OF ORGANIC TOPSOIL, RECOMMENDED SEED MIXTURE AND MULCHING.
8. ALL FILL / TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY, ±2% MOISTURE CONTENT, IN ACCORDANCE WITH ASTM D1557.
9. THE CONTRACTOR SHALL DIRECT ROOF DRAINS TO GRASSED AREA WHEREVER POSSIBLE.

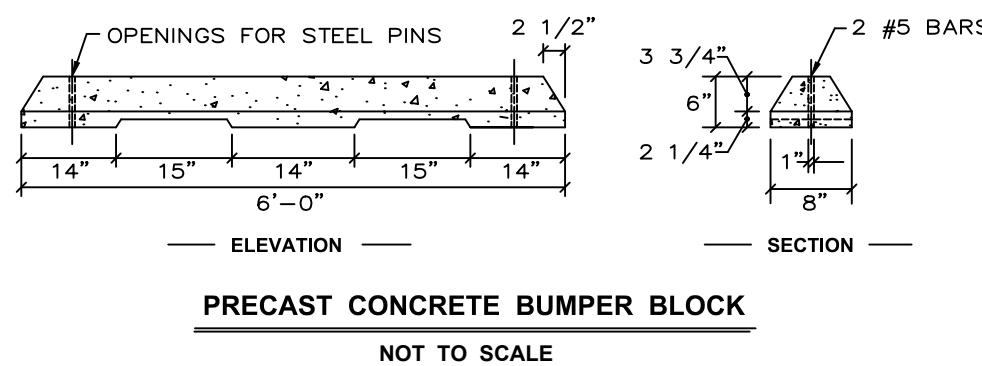
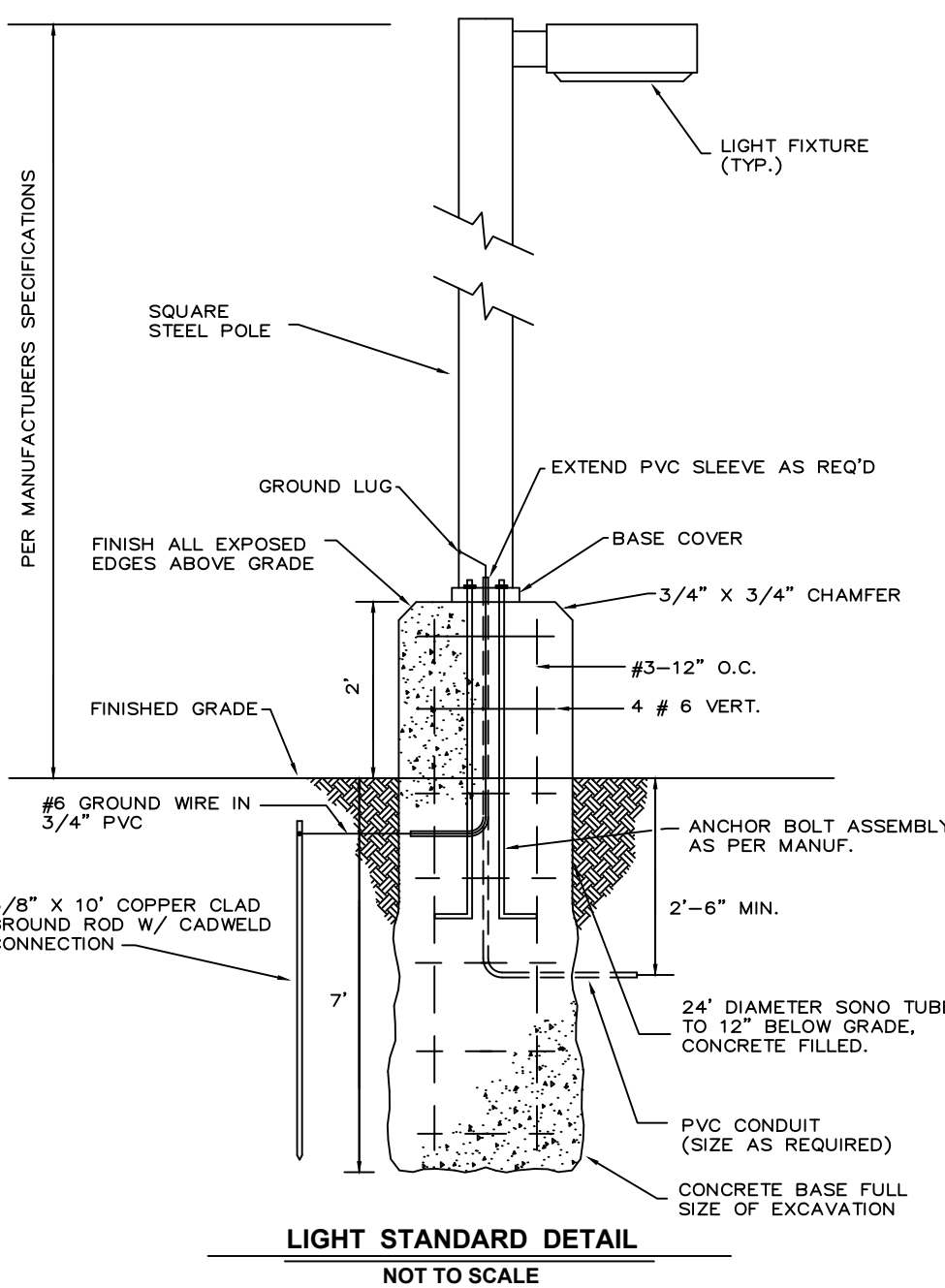
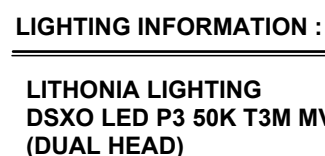


Diagram illustrating a bridge deck cross-section. The deck width is 22'-0". The structure includes a vinyl privacy fence, concrete slabs (CONC. SLAB), and a 6" bollard (typ.) at the edge. The vertical dimensions are 10'-0" for the main deck height and 10'-0" for the lower section height.

PLAN VIEW

DUMPSTER ENCLOSURE DETAIL

NOT TO SCALE



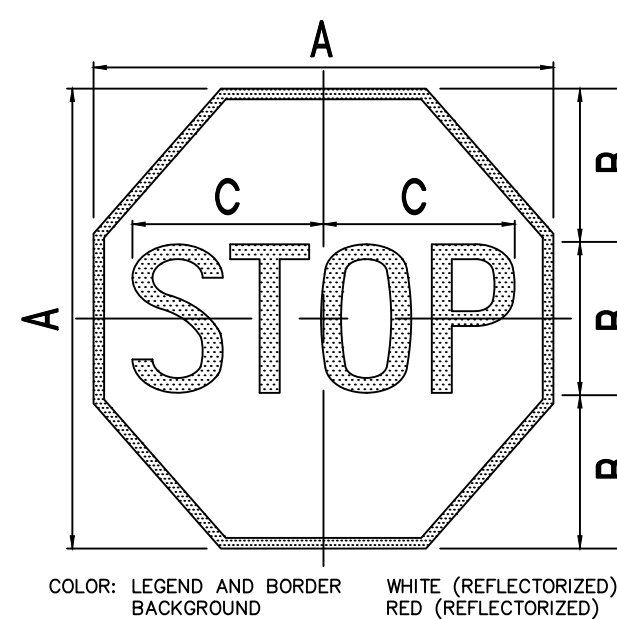
COLOR :		NO.1		LEGEND		WHITE (REFLECTORIZED)			
		BACKGROUND				RED (REFLECTORIZED)			
		NO.2		BACKGROUND		WHITE (REFLECTORIZED)			

SIGN SIZE	DIMENSIONS									
	A	B	C	D	E	F	G	H	J	K
36X12	36	12	3	1 1/4	9 1/8	2	9 5/8	1 1/2	7 1/2	3 3/8
38X18	48	18	4	1 11/16	12	2 3/4	12 13/16	2	10	5

SIGN SIZE	DIMENSIONS					SERIES LINE	BORDER	BLANK STD
	L	M	N	P	Q			
36X12	2 5/8	4 1/4	1/2	11/16	2	D	1/2	B5-36
38X18	2 1/2	6	3/4	7/8	2 1/2	D	7/8	B5-48

HORIZONTAL ONE-WAY SIGN (R6-1L)

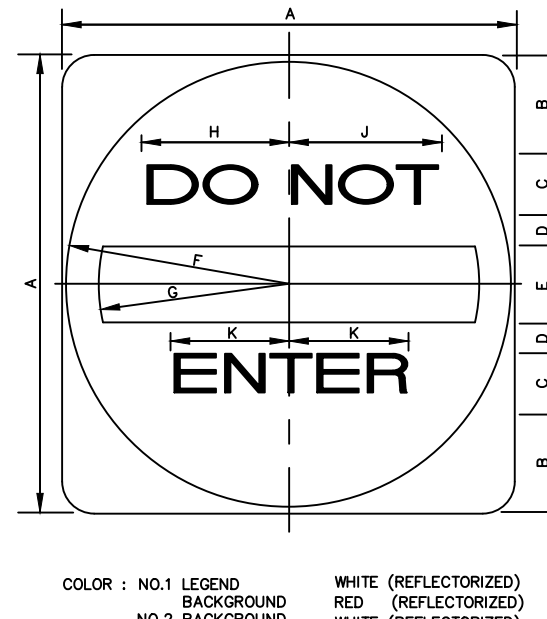
NOT TO SCALE



COLOR: LEGEND AND BORDER WHITE (REFLECTORIZED)
BACKGROUND RED (REFLECTORIZED)

PENN. D.O.T. STOP SIGN R1-1

NOT TO SCALE



COLOR : NO.1 LEGEND WHITE (REFLECTORIZED)
BACKGROUND RED (REFLECTORIZED)
NO.2 BACKGROUND WHITE (REFLECTORIZED)

SIGN SIZE	DIMENSIONS										SERIES LINES 1 2	BLANK STD	
	A	B	C	D	E	F	G	H	J	K			
30X30	30	6 1/2	4	2	5	14 1/2	12 1/2	3/4	9 3/4	7 7/8	D	D	B3-30
36X36	36	7 1/2	5	2 1/2	6	17 1/2	15	12	12	9 13/16	D	D	B3-36
48X48	48	11	6	3	8	23 1/2	20	14 1/2	14 1/2	11 3/4	D	D	B3-48

PENN. D.O.T. DO NOT ENTER R5-1

NOT TO SCALE

THIS _____ DAY OF _____, 20__.

PLAN BOOK _____ VOLUME _____ PAGE _____

SWATARA TOWNSHIP, DAUPHIN COUNTY, PA.

[illegible]

THOROVER

ENGINEERING SERVICES, INC.

ENGINEERS * PLANNERS * SURVEYORS
658 GAUMER ROAD SUITE 100
NEW CUMBERLAND PA. 17070-2823
TELEPHONE (717) 770-0100 FAX (717) 770-1555

SHEET **LD 3**