

DAUPHIN COUNTY SUBDIVISION/LAND DEVELOPMENT REVIEW REPORT

MunicipalityDerry TownshipSurveyorBurkhardEngineer/RLAHess

Plat TitleHershey Gardens – Rose Garden Pavilion

Zoning DistrictPlanned Campus NorthProposed Land UseBotanical Garden

Plat Status:

Preliminary

Final

X P/F

Minor

Plat Type:

Subdivision

X Land Development

Regulations:

County

X Municipal

X Zoning

X S&LD

Existing # of Lots

1

Proposed # of Lots

1

Proposed # of New DUs

0

Subdivided / Developed Acres

0.98

Total Acres

44.49

Date Received04/14/25Staff Review04/22/25Official County Review04/22/25

Reviewed by DMK Checked by Tax Map Parcel # 24-004-037

- When applicable, streets, sewer, water, storm drainage, and other infrastructure elements to be verified as adequate by municipal staff/engineer. Any improvement guarantees shall be posted prior to final plat approval.
- Registered PA Land Surveyor is required to certify all lot/tract boundary descriptions.
- When applicable, zoning compliance to be verified by Municipal Zoning Officer.
- Appropriate sewage module component should be processed prior to final plat approval.
- Final plats must be recorded within 90 days of approval.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Commission.

- The following certifications, signatures and approvals (or approved waivers) are required prior to plan recording:
 - Surveyor/engineer name, seal and signature [S-LD §185-13E(4a)(32, 33)]
 - Ownership (and dedicatory) statements with notarization [S-LD §185-13E(4a)(46, 47)]
 - Erosion and sedimentation control [S-LD §185-13E(4a)22]
 - Stormwater management plan [S-LD §185-13E(5f);185-26]
 - DEP sewage planning module [S/LD – §185-13E(5b)]
 - Lighting plan and professional certification [S-LD §185-33E]
- Label existing streets on overall plan, Sheet C-100.
- Site plan notes appear to be cut off on Sheet C-103.
- Note location of fire hydrant(s) [S-LD §185-13E(4a)(9, 17)].
- Note parking information to accommodate building expansion [S-LD §185-13E(4a)(40)].
- Provide location of existing monuments and markers [S-LD §185-13E(4a)(49)].
- Provide traffic information to Township [S-LD §185-13E(5)].
- Provide final lighting plan certified by a professional engineer, as well as details of light standards and fixtures to be used [S-LD §185-33E, H].

Plan No. 25-048

Plat Specifications	Yes	No	N/A
1. Name of proposed subdivision/land development shown	✓		
2. Owner/developer name, address & telephone number shown	✓		
3. Municipality name shown	✓		
4. Tax parcel number/Deed reference shown/Instrument #	✓		
5. North point shown	✓		
6. Map scale shown (written/graphic)	✓		
7. Date of plan preparation shown	✓		
8. Certification of surveyor/engineer shown (need seals, signatures)	✓		
9. Location map shown	✓		
10. Total property map (bearings, distances, area, primary control point) shown	✓	(no pcp)	
11. Names of adjacent landowners/subdivision shown	✓		
12. Lot numbers shown	✓		
13. Lot dimensions shown	✓		
14. Lot areas shown	✓		
15. Permanent monuments and markers shown	✓		
16. Building setbacks shown	✓		
17. Existing natural features shown - Wetlands			✓
Floodplains			✓
Woodlands, streams			✓
18. Contours at required interval shown (waiver requested)	✓		
19. Easements shown and identified	✓		
20. Existing man-made features shown - Building (s)	✓		
Storm drainage facilities	✓		
Sewer mains	✓		
Water mains	✓		
21. Proposed man-made features shown – Building (s)	✓		
Storm drainage facilities	✓		
Sewer disposal – public (✓) on-lot ()	✓		
Water supply – public (✓) well ()			✓
22. Existing streets shown - Name		✓	
R/W width	✓		
Paving width	✓		
Dedicated R/W width	✓		
23. Proposed streets shown - Name			✓
R/W width			✓
Paving width			✓
Profiles (utilities - waiver requested)	✓		
24. Curbs shown	✓		
25. Sidewalks shown (waiver requested)		✓	
26. Existing and proposed coverage shown	✓		
27. Parking schedule provided/shown		✓	
28. Traffic study completed		✓	
29. Recreation area shown/fee in-lieu-of provided			✓
30. Erosion and sedimentation control plan shown (need final approval letter)	✓		
31. Statement of ownership, signature and notarization shown (needs sign/notar)	✓		
32. Dedicatory statement shown			✓
33. Approval blocks shown	✓		
34. PADOT Highway Occupancy Permit statement shown			✓
35. Consistency with Future Land Use plans - County plans	✓		
Municipal plans	✓		

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN

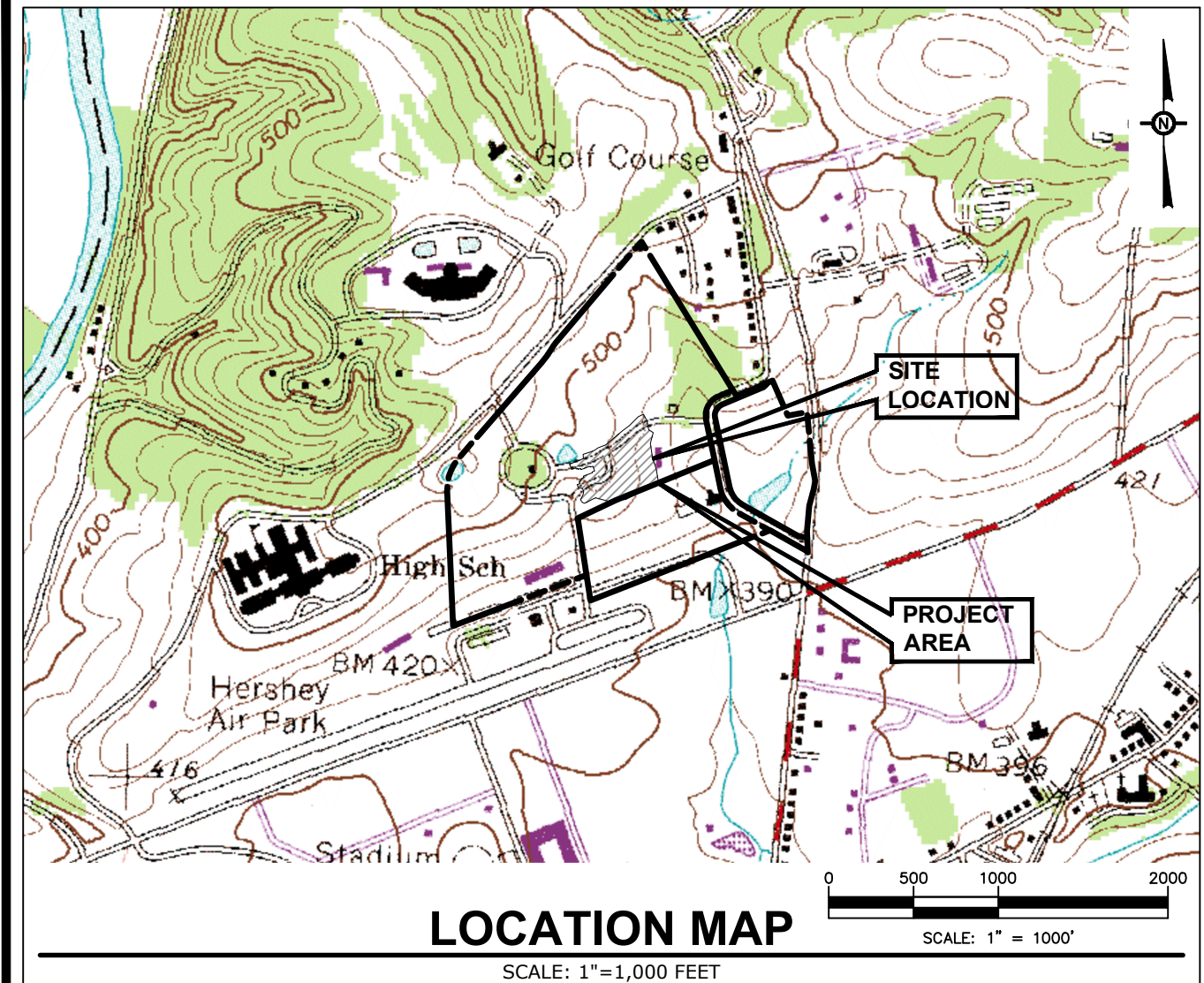
HERSHEY GARDENS - ROSE GARDEN PAVILION

FOR

THE M.S. HERSHEY FOUNDATION

DERRY TOWNSHIP

DAUPHIN COUNTY, PENNSYLVANIA



LANDOWNER / APPLICANT

THE M.S. HERSHEY FOUNDATION
63 WEST CHOCOLATE AVENUE
HERSHEY, PA 17033

TELEPHONE: 717.298.2200
CONTACT: DON PAPSON

SITE ENGINEER / PLAN PREPARER

KUROWSKI & WILSON, LLC
2201 NORTH FRONT STREET, SUITE 200
HARRISBURG, PA 17110

TELEPHONE: 717.635.2835
CONTACT: JENNIFER LEE, PLA

SITE SURVEYOR

KUROWSKI & WILSON, LLC
2201 NORTH FRONT STREET, SUITE 200
HARRISBURG, PA 17110

TELEPHONE: 717.635.2835
CONTACT: DENNIS P. BURKHARD, PLS

LANDOWNER

I, _____, HEREBY ACKNOWLEDGE THAT THE STORMWATER BMPs ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY THE TOWNSHIP.

IN THE EVENT THAT A CLAIM IS ASSERTED AGAINST THE TOWNSHIP, ITS DESIGNED REPRESENTATIVES, OR EMPLOYEES, THE TOWNSHIP SHALL PROMPTLY NOTIFY THE LANDOWNER AND THE LANDOWNER SHALL DEFEND, AT HIS OWN EXPENSE, AND SUIT BASED ON THE CLAIM. IF ANY JUDGEMENT OR CLAIMS AGAINST THE TOWNSHIP'S EMPLOYEES OR DESIGNATED REPRESENTATIVES SHALL BE ALLOWED, THE LANDOWNER SHALL PAY ALL COSTS AND EXPANSES REGARDING SAID JUDGEMENT OR CLAIM.

UTILITY INFORMATION

THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996 FOR NOTIFICATION OF UTILITIES BEFORE EXCAVATION IN CONTRACT AREA. THE UNDERGROUND UTILITIES LOCATION CALL NUMBER IS 1-800-242-1776.

PA ONE-CALL SERIAL NUMBER: 20232194048 (DESIGN TICKET)

THE FOLLOWING UTILITY FACILITY OWNERS WERE NOTIFIED BY THE PA ONE-CALL SYSTEM, INC.

COMCAST CABLE COMMUNICATIONS INC
ADDRESS: 13085 HAMILTON CROSSING BLVD
SITE 200
CONTACT: USIC OFFICE PERSONNEL

PENNSYLVANIA AMERICAN WATER
ADDRESS: 200 E CANAL STREET
HUMMELSTOWN, PA 17036
CONTACT: ANGELA MARCUS
EMAIL: ANGELA.MARCUS@AMWATER.COM

DERRY TOWNSHIP MUN AUTH/DERRY TOWNSHIP
ADDRESS: 670 CLEARWATER ROAD
HERSHEY, PA 17033
CONTACT: MICHAEL STOTTLER
EMAIL: MSTOTTLER@DTMA.COM

PPL ELECTRIC UTILITIES CORPORATION
ADDRESS: 437 BLUE CHURCH ROAD
PAXINOS, PA 17860
CONTACT: DOUG HAUPIT
EMAIL: DHAUPIT@PPLWEB.COM

FIRSTENERGY CORPORATION
ADDRESS: 21 S MAIN ST
AKRON, OH 44308
CONTACT: MELLYSSA ADAMS
EMAIL: MADAMS@FIRSTENERGYCORP.COM

UGI UTILITIES INC
ADDRESS: 1301 A T P DRIVE
MIDDLETOWN, PA 17057
CONTACT: STEPHEN BATEMAN
EMAIL: SBATEMAN@UGI.COM

MILTON HERSHEY SCHOOL
ADDRESS: 1201 HOMESTEAD LN
PO BOX 830
HERSHEY, PA 17033
CONTACT: MIKE KOEGLER
EMAIL: KOEGLERM@MHS-PA.ORG

SHEET INDEX

LAND DEVELOPMENT PLANS

Sheet Number	Sheet Title
C-001	COVER SHEET
C-100	OVERALL PROPERTY BOUNDARY PLAN
C-101	OVERALL EXISTING FEATURES PLAN
C-101.1	EXISTING FEATURES PLAN
C-101	SENSITIVE RESOURCES MAP
C-102	DEMOLITION PLAN
C-103	SITE LAYOUT PLAN
C-104	GRADING PLAN
C-105	UTILITY PLAN
C-301	STORM PROFILES
C-501	SITE DETAILS
C-502	UTILITY DETAILS
C-601	PCSM DETAILS
C-602	PCSM DETAILS
C-701	OVERALL EROSION AND SEDIMENTATION CONTROL PLAN
C-701.1	EROSION AND SEDIMENTATION CONTROL PLAN
C-702	E&S DETAILS
C-703	E&S DETAILS

ZONING DATA (LOT 7)

ZONING DISTRICT: PLANNED CAMPUS NORTH			
PROPOSED USE: BUILDING ADDITION TO CONSERVATORY			
REQUIREMENT:	REQUIRED:	EXISTING:	PROPOSED:
MINIMUM LOT AREA:	30,000 SQ. FT.	LOT 7 1,938,183 SQ. FT. 44.49 ACRES	N/A
MINIMUM LOT WIDTH:	100 FEET	± 796.82 FEET	N/A
MINIMUM LOT DEPTH:	150 FEET	± 1,023.16 FEET	N/A
FRONT YARD SETBACK:	25 FEET	>25 FEET	>25 FEET
SIDE YARD SETBACK:	15 FEET	>15 FEET	>15 FEET
REAR YARD SETBACK:	35 FEET	>35 FEET	>35 FEET
MAXIMUM BUILDING HEIGHT:	60 FEET	< 60 FEET	< 60 FEET
MAXIMUM IMPERVIOUS COVERAGE:	60%	± 14.79% ± 286,710.61 S.F.	± 15.02% ± 291,168.45 S.F.
MINIMUM VEGETATIVE COVERAGE:	30%	± 81.22% ± 1,574,172.60 S.F.	± 80.99% ± 1,569,714.76 S.F.

SITE DATA (LOT 7)

TAX PARCEL:	24-004-037
DEED REF. / INSTRUMENT #:	20150011930
EXISTING LOT AREA:	1,938,183 SQ. FT. / 44.49 ACRES
PROPOSED SEWAGE DISPOSAL:	PUBLIC (DERRY TOWNSHIP MUNICIPAL AUTHORITY)
PROPOSED WATER SUPPLY:	PUBLIC (PA AMERICAN WATER COMPANY)
APPROXIMATE DISTURBED ACREAGE / PROJECT AREA:	42,906 SQ. FT. / 0.98 ACRES
NET DEVELOPABLE ACREAGE:	1,547,604 SQ. FT. / 35.53 ACRES
EXISTING BUILDING GROSS SQ. FT.:	±20,871 SQ. FT.
PROPOSED BUILDING GROSS SQ. FT.:	3,570.96 SQ. FT.

PARKING DATA

EXISTING PARKING PROVIDED: 144 SPACES

OPERATION & MAINTENANCE PROGRAM FOR BMPs AND SWM FACILITIES

- THE PURPOSE OF THESE INSTRUCTIONS IS TO IDENTIFY THE OWNERSHIP AND MAINTENANCE ACTIVITIES ASSOCIATED WITH THE PROPOSED STRUCTURAL STORMWATER BMPs. THE SUBJECT SITE HAS BEEN DESIGNED SUCH THAT THE INCREASE IN STORMWATER VOLUME SHALL BE ATTENUATED BY INFILTRATION TRENCH (BMP 1), SWALE #1, AND STORMWATER CONVEYANCE/COLLECTION.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER FACILITIES AND BMPs LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY. THESE FACILITIES INCLUDE BUT ARE NOT LIMITED TO INFILTRATION TRENCH (BMP 1), SWALE #1, AND STORMWATER CONVEYANCE/COLLECTION SYSTEM. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR KEEPING THE FACILITIES FREE OF OBSTRUCTIONS.
- THE PROPERTY OWNER SHALL GRANT TO THE TOWNSHIP THE RIGHT TO ENTER ALL PARTS OF THE PROPERTY TO INSPECT ON SITE STORMWATER MANAGEMENT FACILITIES IN ORDER TO ENSURE THEY ARE BEING OPERATED AS INTENDED PER THE PROVIDED MAINTENANCE REQUIREMENTS. THE PROPERTY OWNER SHALL FURTHER RECOGNIZE THAT IF SAID STORMWATER FACILITIES ARE NOT MAINTAINED IN ACCORDANCE WITH THE ABOVE, DERRY TOWNSHIP HAS LEGAL RIGHT TO ACCESS THE PROPERTY, APPLY REQUIRED MAINTENANCE MEASURES TO SAID AREAS, AND ASSESS PENALTIES AND COSTS INVOLVED.

THE ABOVEMENTIONED FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

THE M.S. HERSHEY FOUNDATION
63 WEST CHOCOLATE AVENUE
HERSHEY, PA 17033

TELEPHONE: 717.298.2200
CONTACT: DON PAPSON, EXECUTIVE DIRECTOR

INFILTRATION TRENCH	
OPERATION & MAINTENANCE PROCEDURES	
ACTIVITY	SCHEDULE
REMOVE SEDIMENT AND OIL/GREASE FROM PRETREATMENT DEVICES AND OVERFLOW STRUCTURES	AS NEEDED
CHECK OBSERVATION WELLS FOLLOWING 3 DAYS OF DRY WEATHER. INSPECT PRETREATMENT DEVICES AND DIVERSION STRUCTURES FOR SEDIMENT BUILD-UP AND STRUCTURAL DAMAGE	SEMI-ANNUAL
INLETS AND CATCH BASINS SHOULD BE INSPECTED AND CLEANED	SEMI-ANNUAL
GENERAL MAINTENANCE NOTES: VEHICLES SHOULD NOT BE PARKED OR DRIVEN ON THE TRENCH AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS	

STORMWATER COLLECTION/CONVEYANCE	
OPERATION & MAINTENANCE PROCEDURES	
ACTIVITY	SCHEDULE
INLETS & CATCH BASINS SHOULD BE CLEANED OF DEBRIS. REPAIRS SHOULD BE MADE AS SOON AS PROBLEMS ARISE	CLEAN ANNUALLY & REPAIR AS NEEDED
INSPECT OUTFALL STRUCTURES QUARTERLY DURING 1ST YEAR & 1X PER YEAR THEREAFTER	QUARTERLY & ANNUALLY
COLLECTION/CONVEYANCE SYSTEMS SHOULD BE INSPECTED	
GENERAL MAINTENANCE NOTES: 1. VACTOR TRUCKS MAY BE AN EFFICIENT CLEANING MECHANISM. 2. CATCH BASINS SHOULD BE CLEANED BEFORE HALF FULL.	

VEGETATED SWALE	
OPERATION & MAINTENANCE PROCEDURES	
ACTIVITY	SCHEDULE
PLANT ALTERNATIVE GRASS SPECIES IN THE EVENT OF UNSUCCESSFUL ESTABLISHMENT; RESEED BARE AREAS. INSTALL APPROPRIATE EROSION CONTROL MEASURES. ROTOTILL & REPLANT SWALE IF DRAIN DOWN TIME IS > 48 HRS	AS NEEDED
INSPECT/CORRECT EROSION PROBLEMS DAMAGE TO VEGETATION, & SEDIMENT/ DEBRIS ACCUMULATION, POOLS OF STANDING WATER; DEWATER/ DISCHARGE TO APPROVED LOCATION. MOW & TRIM VEGETATION ONLY WHEN DRY TO AVOID RUTTING; INSPECT SWALE INLET & OUTLET FOR SIGNS OF EROSION OR BLOCKAGE	ANNUAL
INSPECT SWALE AFTER SPRING MELT, REMOVE RESIDUALS AND REPLACE DAMAGED VEGETATION. MULCHING/ SOIL AERATION OR MANIPULATION MAY BE REQUIRED. USE NONTOXIC, ORGANIC DEICING AGENTS APPLIED AS BLENDED MAGNESIUM CHLORIDE-BASED LIQUID OR AS PRETREATED SALT	WINTER
GENERAL MAINTENANCE NOTES: 1. WATER DURING DRY PERIODS, FERTILIZE, AND APPLY PESTICIDE ONLY WHEN ABSOLUTELY NECESSARY 2. STABILIZE WITH EROSION CONTROL MATTING / PERMANENT SEEDING	

WETLAND NOTE

I, _____, DATE _____

HEREBY CERTIFY THAT THERE ARE NO WETLANDS IN THE AREA OF PROPOSED DEVELOPMENT ON THE SUBJECT PROPERTY; WETLAND FILL PERMITS ARE NOT REQUIRED FROM THE STATE OR FEDERAL GOVERNMENT.

QUALIFIED DESIGN PROFESSIONAL

I, _____, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE TOWNSHIP OF DERRY STORMWATER MANAGEMENT ORDINANCE, CHAPTER 174.

LANDOWNER

I, _____, HEREBY ACKNOWLEDGE THAT THE STORMWATER BMPs ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY THE TOWNSHIP.

IN THE EVENT THAT A CLAIM IS ASSERTED AGAINST THE TOWNSHIP, ITS DESIGNED REPRESENTATIVES, OR EMPLOYEES, THE TOWNSHIP SHALL PROMPTLY NOTIFY THE LANDOWNER AND THE LANDOWNER SHALL DEFEND, AT HIS OWN EXPENSE, AND SUIT BASED ON THE CLAIM. IF ANY JUDGEMENT OR CLAIMS AGAINST THE TOWNSHIP'S EMPLOYEES OR DESIGNATED REPRESENTATIVES SHALL BE ALLOWED, THE LANDOWNER SHALL PAY ALL COSTS AND EXPENSES REGARDING SAID JUDGEMENT OR CLAIM.

BMP O&M TABLE

BMP ID#	BMP TYPE	INSPECTION CRITERIA	MAINTENANCE CRITERIA	LATITUDE LONGITUDE
BMP 6.4.4 INFILTRATION TRENCH (BMP 1)	INFILTRATION TRENCH	SEMI-ANNUALLY: CHECK INSPECTION PORTS FOLLOWING 3 DAYS OF DRY WEATHER. FAILURE TO REGULATE INDICATES CLOGGING. INSPECT PRETREATMENT DEVICES FOR SEDIMENT BUILD AND STRUCTURAL DAMAGE. INSPECT INLETS	AS NEEDED: REMOVE SEDIMENT FROM PRETREATMENT DEVICES AND OVERFLOW STRUCTURES. SEMI-ANNUALLY: CLEAN INLETS	LAT: 40.30077 LONG: -76.65833
BMP 6.4.8 VEGETATED SWALE	VEGETATED SWALE	ANNUALLY: INSPECT FOR EROSION, DAMAGE TO VEGETATION, POOLS OF STANDING WATER, LITTER, UNIFORMITY IN CROSS SECTION AND LONGITUDINAL SLOPE, AND FOR SEDIMENT ACCUMULATION. WINTER: INSPECT AFTER SPRING MELT.	ANNUALLY: MOW AND TRIM VEGETATION. MOW ONLY WHEN SWALE IS DRY.	LAT: 40.29687 LONG: -76.65598
INSPECTION, MAINTENANCE, & COMPLIANCE RESPONSIBLE PARTY: RESPONSIBLE PARTY MUST MAINTAIN DOCUMENTATION FOR THE ABOVE LISTENED BMPs IN PERPETUITY.				
NAME	TITLE	PHONE NUMBER	EMAIL	MAILING ADDRESS
THE M.S. HERSHEY FOUNDATION c/o DON PAPSON	EXECUTIVE DIRECTOR	717-298-2200	DPAPSON@HERSHEYPA.COM	63 WEST CHOCOLATE AVENUE, HARRISBURG, PA, 17033

GENERAL NOTES

- THE PURPOSE OF THIS PLAN IS TO DEVELOP AN ADDITION TO THE EXISTING HERSHEY CONSERVATORY BUILDING, LOCATED AT 170 HOTEL ROAD IN DERRY TOWNSHIP, DAUPHIN COUNTY. THE PROJECT WILL INCLUDE THE CONSTRUCTION OF A BUILDING ADDITION ALONG WITH SERVICE DRIVE/BUS CIRCULATION IMPROVEMENTS AND RELATED SITE IMPROVEMENTS.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITY LINES PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES. KUROWSKI AND WILSON, L.L.C. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND UTILITIES AS DEPICTED HEREON. ANY REQUEST FOR ADDITIONAL UTILITY INFORMATION SHOULD BE DIRECTED TO THE APPROPRIATE UTILITY COMPANY.
- THE SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR.
- THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT ACCURATE TITLE SEARCH MAY DISCLOSE.
- NO ROADWAYS WILL BE OFFERED FOR DEDICATION AS PART OF THIS PROJECT.
- THE DEVELOPER/CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A MINIMUM 24 HOURS NOTICE AND TO COORDINATE WITH THE TOWNSHIP/TOWNSHIP ENGINEER IN REGARDS TO ALL MUNICIPAL INSPECTION WORK REQUIRED ON THE PROJECT SITE.
- THE APPROVED SWM SITE PLAN SHALL BE ON FILE AT THE PROJECT SITE THROUGHOUT THE DURATION OF THE CONSTRUCTION ACTIVITY.
- PUBLIC WATER AND SEWER TO BE PROVIDED BY PA AMERICAN WATER AND DERRY TOWNSHIP MUNICIPAL AUTHORITY RESPECTIVELY.
- NO KNOWN SINKHOLES EXIST ON THE PROPERTY.
- WHERE APPLICABLE, CONSTRUCTION SHALL CONFORM TO PENNDOT PUBLICATIONS 408 AND 72 STANDARDS AND DERRY TOWNSHIP ORDINANCES.
- ALL STORMWATER MANAGEMENT FACILITIES SHALL REMAIN PRIVATELY OWNED, OPERATED, AND MAINTAINED.
- THE PROPERTY OWNER IS RESPONSIBLE FOR SUBMITTING A MAINTENANCE REPORT ON AN ANNUAL BASIS (BY DECEMBER 31ST OF THAT YEAR) TO THE DERRY TOWNSHIP DIRECTOR OF COMMUNITY DEVELOPMENT.
- CONTACT: THE M.S. HERSHEY FOUNDATION FACILITIES MANAGER (717.298.2200)

STORMWATER BMP NOTES

- ALL INLETS IN PAVED AREAS SHALL HAVE HEAVY DUTY BICYCLE-SAFE GRATING CONSISTENT WITH THE LATEST EDITION OF PENNDOT PUBLICATION 72M.
- INLETS MUST BE SIZED TO ACCEPT THE SPECIFIED PIPE SIZES WITHOUT KNOCKING OUT ANY OF THE INLET CORNERS.
- ALL PIPES ENTERING OR EXITING INLETS SHALL BE CUT FLUSH WITH THE INLET WALL.
- INLETS SHALL NOT HAVE A SUMP CONDITION IN THE BOTTOM (UNLESS DESIGNED AS A WATER QUALITY BMP). OUTLET PIPES SHALL BE FLUSH WITH THE BOTTOM OF THE BOX OR CONCRETE CHANNELS SHALL BE POURED.
- INLETS, MANHOLES, PIPES, AND CULVERTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH IN PENNDOT'S PUBLICATION 408, LATEST EDITION, AND AS DETAILED IN PENNDOT'S PUBLICATION 72M - STANDARDS FOR ROADWAY CONSTRUCTION (RC), LATEST EDITION, OR AS APPROVED BY THE TOWNSHIP ENGINEER.
- ALL FRAMES, CONCRETE TOP UNITS, AND GRADE ADJUSTMENT RINGS SHALL BE SET IN A BED OF FULL MORTAR ACCORDING TO PUBLICATION 408, LATEST EDITION.
- THE STORMWATER OPERATION AND MAINTENANCE AGREEMENT AND ACCESS EASEMENT FOR THIS PROJECT IS TO BE CONSIDERED A PART OF THIS PLAN WHETHER OR NOT IT APPEARS HEREON.
- THE STORMWATER MANAGEMENT REPORT IS CONSIDERED TO BE A BINDING DOCUMENT OF THIS PLAN.
- TOWNSHIP OFFICIALS AND THEIR AGENTS OR EMPLOYEES HAVE THE RIGHT OF ACCESS TO THE PROPERTY FROM THE PUBLIC RIGHT-OF-WAY FOR INSPECTION OF AND, IN CASES OF CONSTRUCTION DEFAULT, CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES.
- NOTHING SHALL BE PLACED, PLANTED, OR SET WITHIN AN EASEMENT OR RIGHT-OF-WAY THAT WILL ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR RIGHT-OF-WAY OR THAT WILL CONFLICT WITH ANY CONDITIONS ASSOCIATED WITH SUCH EASEMENT OR RIGHT-OF-WAY.
- NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY EXISTING STORMWATER BMP, FACILITIES, AREAS, OR STRUCTURES WITHOUT THE WRITTEN APPROVAL OF THE TOWNSHIP AND/OR DTMA, UNLESS IT IS PART OF AN APPROVED MAINTENANCE PROGRAM.
- NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, OR VEGETATION INTO A STORMWATER BMP, FACILITIES, AREAS, OR STRUCTURES, OR WITHIN A DRAINAGE EASEMENT THAT WOULD LIMIT OR ALTER THE FUNCTIONING OF THE BMP WITHOUT THE WRITTEN APPROVAL OF THE TOWNSHIP.
- THE OWNER OF THE LOT CONTAINING A STORMWATER BMP SHALL BE RESPONSIBLE FOR CONTINUED FUNCTIONALITY AND REQUIRED MAINTENANCE OF THE FACILITY.
- THE APPROVED SWM SITE PLAN SHALL BE ON FILE AT THE PROJECT SITE THROUGHOUT THE DURATION OF THE CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ANY DEBRIS AND FLUSH OUT ALL EXISTING AND NEWLY CONSTRUCTED STORM DRAINAGE FACILITIES WITHIN THE PROJECT LIMITS AT THE COMPLETION OF CONSTRUCTION.

MODIFICATION REQUESTS

MODIFICATION REQUESTED:	
\$185-12.D(3)(a)[9]	Features Within Total Lot Boundary and 200ft Beyond (Preliminary)
\$185-13.E(4)(a)[9]	Features Within Total Lot Boundary and 50ft Beyond (Final)
\$185-12.D(3)(a)[21]	Existing Stormwater Systems Plan/Profile (Preliminary)
\$185-13.E(4)(a)[19]	Existing Stormwater Systems Plan/Profile (Final)
\$185-12.D(3)(a)[22]	Existing Sanitary Sewer Systems Plan/Profile (Preliminary)
\$185-13.E(4)(a)[20]	Existing Sanitary Sewer Systems Plan/Profile (Final)
\$185-12.D(3)(a)[23]	Existing Water/Gas Systems Plan/Profile (Preliminary)
\$185-13.E(4)(a)[21]	Existing Water/Gas Systems Plan/Profile (Final)
\$185-12.D(3)(a)[35]	2ft Contours Within Total Lot Boundary and 200ft Beyond (Preliminary)
\$185-13.E(4)(a)[36]	2ft Contours Within Total Lot Boundary and 50ft Beyond (Final)
\$185-12.D(3)(a)[37]	Illustrate Existing Restrictions Within Total Lot Boundary (Preliminary)
\$185-13.E(4)(a)[38]	Illustrate Existing Restrictions Within Total Lot Boundary (Final)
\$185-12.D(3)(a)[40]	Illustrate Existing Streets Within/Adjacent to Total Lot (Preliminary)
\$185-13.E(4)(a)[43]	Illustrate Existing Streets Within/Adjacent to Total Lot (Final)
\$185-34.A.1	Provide Sidewalks along Public Streets
\$185-12.D(3)(a)[10]	Requirement to Illustrate Locations of Sensitive Features Within the Total Lot Boundary (Preliminary)
\$185-13.E(4)(a)[10]	Requirement to Illustrate Locations of Sensitive Features Within the Total Lot Boundary (Final)

TOWNSHIP OF DERRY

PLAT NO. 1404
SUBMISSION DATE

4 8 2025
MO. DAY YEAR

REVISION DATE

MO. DAY YEAR

MO. DAY YEAR

C. Emerick
Director of Community Development

Commonwealth of Pennsylvania
County of Dauphin : SS

On this ____ day of _____, 2025, before me, the undersigned officer, personally appeared Leslie Lenzo, who acknowledged herself to be the CEO/CIO for the Hershey Trust Company as Trustee for the M.S. Hershey Foundation, who being duly sworn according to law deposes and says that The Hershey Trust Company, is the owner of the property shown on this plan, and acknowledges the same to be the act and plan of The Hershey Trust Company, which desires the same to be recorded as such according to law.

Sworn to and subscribed before me the date and year aforesaid:

NOTARY PUBLIC

My commission expires: _____

It is hereby certified that the undersigned is the equitable owner of the property shown on the within plat.

The Hershey Trust Company:

By: _____
Leslie Lenzo
100 Mansion Road East
Hershey, PA 17033
Telephone: 717.520.1100

This plan reviewed by the Dauphin County Planning Commission

This _____ day of _____, 20____

Chairman: _____

Secretary: _____

This plan recommended for approval by the Derry Township Planning Commission

This _____ day of _____, 20____

Chairman: _____

Secretary: _____

This plan approved by the Derry Township Supervisors

This _____ day of _____, 20____

Chairman: _____

Secretary: _____

HERSHEY
ENTERTAINMENT & RESORTS

SURVEYOR

DENNIS P. BURKHARD, P.L.S.
KUROWSKI & WILSON, LLC
2201 NORTH FRONT STREET, SUITE 200
HARRISBURG, PA 17110
(717) 635-2835

I hereby certify this plan to be correct as shown

PROFESSIONAL SURVEYOR

ENGINEER

REBECCA L. HESS, P.E.
KUROWSKI & WILSON, LLC
2201 NORTH FRONT STREET, SUITE 200
HARRISBURG, PA 17110
(717) 635-2835

I hereby certify this plan to be correct as shown

PROFESSIONAL ENGINEER

K&W
DESIGNING ENVIRONMENTS
2201 North Front Street, Suite 200
Harrisburg, PA 17111
P: 717.635.2835
www.kandwegners.com

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN
FOR
THE M.S. HERSHEY FOUNDATION

DERRY TOWNSHIP

DAUPHIN COUNTY, PA

SCALE:
AS SHOWN

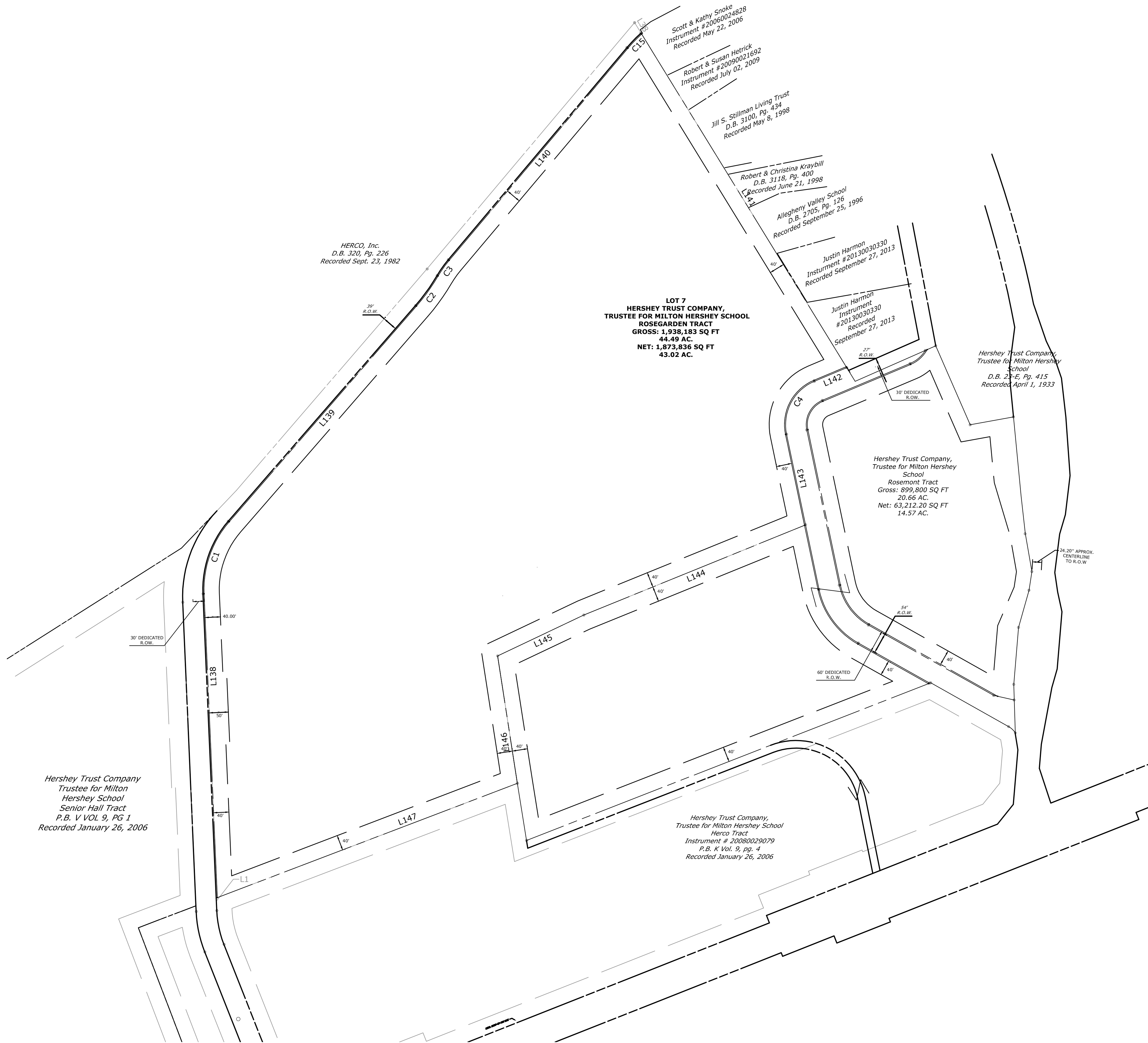
DRAWN BY:
HAB

DATE:
APRIL 4, 2025

K&W PROJECT:
2164-002

DRAWING NO.:

C-001



LEGEND

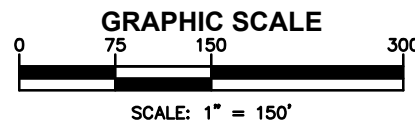
- PROPERTY LINE
- RIGHT OF WAY LINE
- BUILDING SETBACK
- LAND HOOK

LOT 7 "ROSE GARDEN TRACT BOUNDARY"

LINE DATA		
LINE	BEARING	LENGTH
L138	S2°29'23"E	796.82
L139	S40°58'19"W	748.16
L140	S40°07'28"W	727.06
L141	S31°35'27"E	1023.16
L142	S67°14'25"W	92.19
L143	S11°49'59"E	242.66
L144	S67°52'27"W	624.22
L145	S64°36'19"W	250.13
L146	S8°49'48"E	337.68
L147	S69°09'00"W	841.46

LOT CURVE DATA						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	BEARING	DISTANCE
C1	270.00	204.81'	107.61'	43°27'42"	S19°14'28"W	199.93'
C2	530.00	97.31'	48.79'	10°31'12"	S35°42'43"W	97.18'
C3	297.00	50.14'	25.13'	9°40'21"	S35°17'17"W	50.08'
C4	122.92	169.64'	101.46'	79°04'23"	S27°42'13"W	156.49'
C15	372.00	51.70'	25.89'	7°57'45"	S44°06'20"W	51.66'

P:\2025\2164.002 - Hershey Convention Center\2164.002 - LOT 7\2164.002 - LOT 7.dwg, 12/26/2024, 12:26:48 PM, mbs



SCALE: 1" = 150'

K&W
DESIGNING ENVIRONMENTS
2201 North Front Street, Suite 200
Harrisburg, PA 17111
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HERSHEY
ENTERTAINMENT & RESORTS

SHEET INDEX:

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN

FOR
**HERSHEY GARDENS -
ROSE GARDEN PAVILION**
THE M.S. HERSHEY FOUNDATION

DERRY TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA

PROFESSIONAL SEAL

DATE	NO.	REVISIONS	BY

SCALE
AS SHOWN
DRAWN BY HAB
DATE APRIL 4, 2025
K&W PROJECT: 2164.002

DRAWING NO.
C-100

DRAWING NAME
OVERALL PROPERTY BOUNDARY PLAN

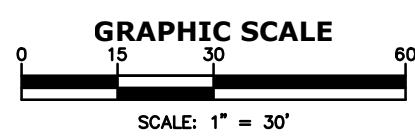
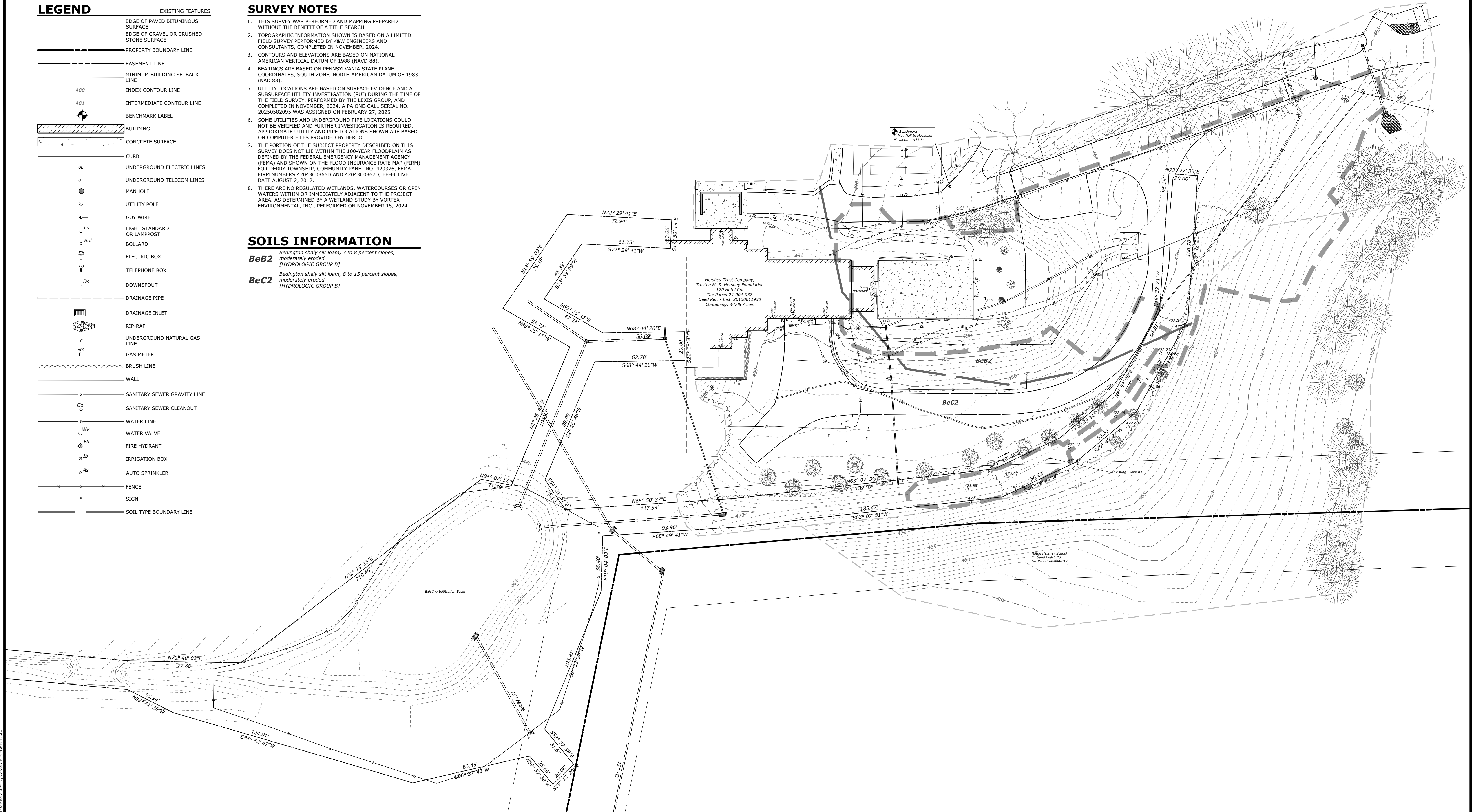
LEGEND

EXISTING FEATURES

	EDGE OF PAVED BITUMINOUS SURFACE
	EDGE OF GRAVEL OR CRUSHED STONE SURFACE
	PROPERTY BOUNDARY LINE
	EASEMENT LINE
	MINIMUM BUILDING SETBACK LINE
	INDEX CONTOUR LINE
	INTERMEDIATE CONTOUR LINE
	BENCHMARK LABEL
	BUILDING
	CONCRETE SURFACE
	CURB
	UNDERGROUND ELECTRIC LINES
	UNDERGROUND TELECOM LINES
	MANHOLE
	UTILITY POLE
	GUY WIRE
	LIGHT STANDARD OR LAMPPOST
	BOLLARD
	ELECTRIC BOX
	TELEPHONE BOX
	DOWNSPOUT
	DRAINAGE PIPE
	DRAINAGE INLET
	RIP-RAP
	UNDERGROUND NATURAL GAS LINE
	GAS METER
	BRUSH LINE
	WALL
	SANITARY SEWER GRAVITY LINE
	SANITARY SEWER CLEANOUT
	WATER LINE
	WATER VALVE
	FIRE HYDRANT
	IRRIGATION BOX
	AUTO SPRINKLER
	FENCE
	SIGN
	SOIL TYPE BOUNDARY LINE

1. THIS SURVEY WAS PERFORMED AND MAPPING PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH.
2. TOPOGRAPHIC INFORMATION SHOWN IS BASED ON A LIMITED FIELD SURVEY RECONSTRUCTION OF THE PROPERTY AND CONSULTANTS, COMPLETED IN NOVEMBER, 2024.
3. CONTOURS AND ELEVATIONS ARE BASED ON NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
4. BEARINGS ARE BASED ON PENNSYLVANIA STATE PLANE COORDINATES, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
5. UTILITY LOCATIONS ARE BASED ON SURFACE EVIDENCE AND A SUBSURFACE UTILITY INVESTIGATION (SUI) DURING THE TIME OF THE SURVEY, PERFORMED BY THE LEXIS GROUP, AND COMPLETED IN NOVEMBER, 2024. A ONE-CALL SERIAL NO. 2023-0095 WAS OBTAINED ON FEBRUARY 20, 2024.
6. SOME UTILITIES AND UNDERGROUND PIPE LOCATIONS COULD NOT BE VERIFIED AND FURTHER INVESTIGATION IS REQUIRED. APPROXIMATE UTILITY AND PIPE LOCATIONS SHOWN ARE BASED ON RECORD FILES.
7. THE PORTION OF THE SUBJECT PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN THE 100-YEAR FLOODPLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWNSHIP OF WESTERN, PENNSYLVANIA, FIRM NO. FIRM NUMBERS 42043C03660 AND 42043C03670, EFFECTIVE DATE AUGUST 2, 2012.
8. THERE ARE NO REGULATED WETLANDS, WATERCOURSES OR OPEN WATER BODIES OR IMMEDIATELY ADJACENT TO THE PROJECT AREA, AS DETERMINED BY A WETLAND STUDY BY VORTEX ENVIRONMENTAL, INC., PERFORMED ON NOVEMBER 15, 2024.

BeB2	Bedington shaly silt loam, 3 to 8 percent slopes, moderately eroded [HYDROLOGIC GROUP B]
BeC2	Bedington shaly silt loam, 8 to 15 percent slopes, moderately eroded [HYDROLOGIC GROUP B]



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DERRY TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA

PROFESSIONAL SEAL

[illegible]

DRAWING NO.

C-101

DRAWING NAME

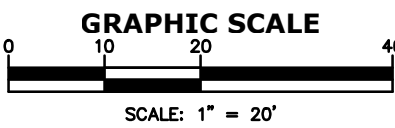
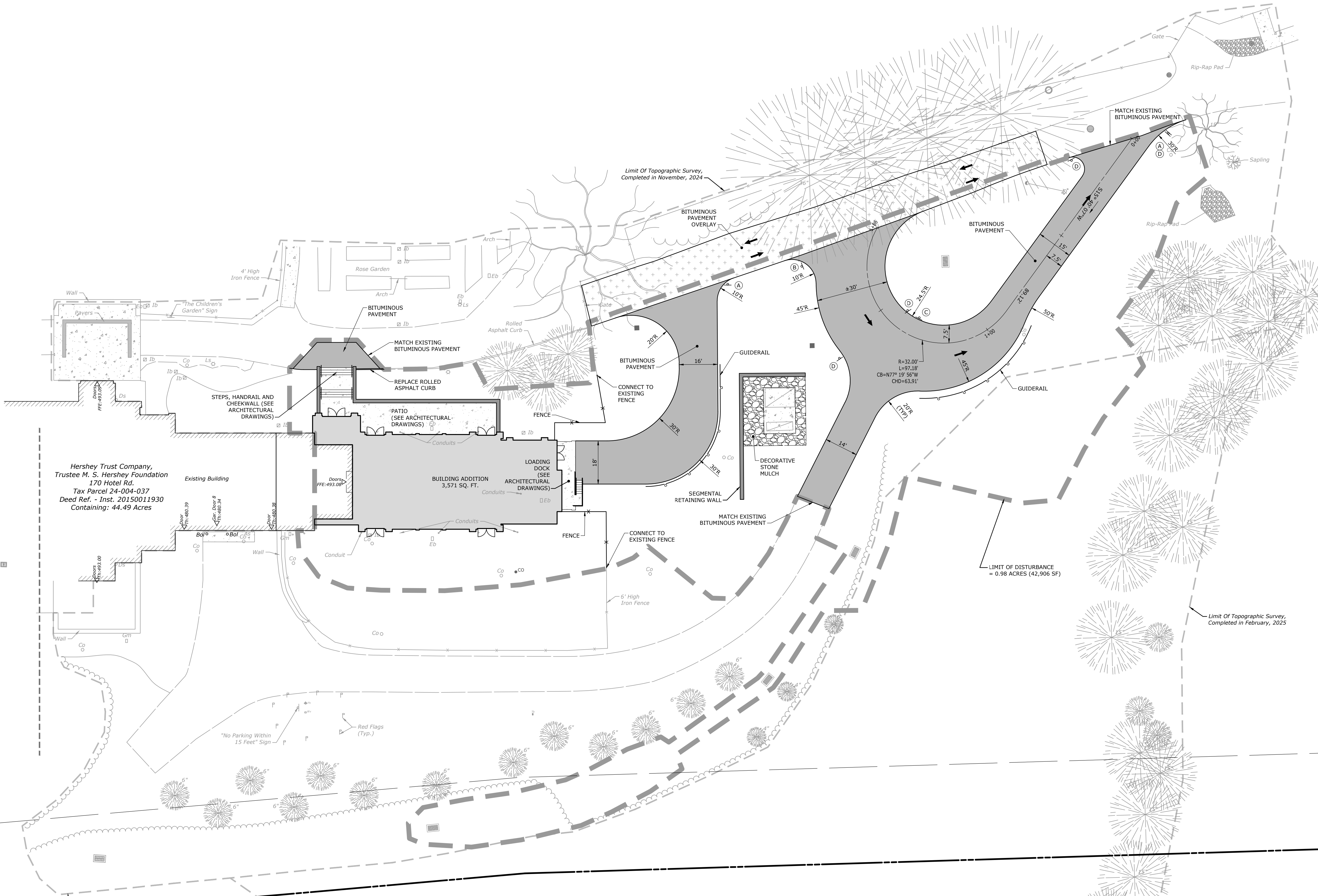
OVERALL EXISTING FEATURES PLAN

LEGEND

- PROPOSED SITE FEATURES
- BUILDING
 - CONCRETE SURFACE
 - EDGE OF BITUMINOUS PAVEMENT
 - BITUMINOUS PAVEMENT
 - BITUMINOUS PAVEMENT OVERLAY
 - WALL
 - FENCE
 - GUIDERAIL
 - LIMIT OF DISTURBANCE
 - DRAINAGE MANHOLE
 - DRAINAGE INLET
 - YARD DRAINAGE INLET
 - STOP SIGN
PENNDOT DESIGNATION R1-1
 - ONE-WAY SIGN
PENNDOT DESIGNATION R6-2L
 - DO NOT ENTER SIGN
PENNDOT DESIGNATION R6-2R
 - DO NOT ENTER SIGN
PENNDOT DESIGNATION R5-1

SITE PLAN NOTES

- REFER TO ARCHITECTURAL PLANS FOR SIZE, TYPE, AND EXACT LAYOUT OF EMERGENCY GENERATOR PAD, ELECTRICAL TRANSFORMER PAD, AND HVAC UNITS.
- ALL RADII ARE 5 FEET, UNLESS SPECIFICALLY DIMENSIONED OTHERWISE WITHIN THE PLAN VIEW. THIS INCLUDES CURB RADII, RADII ON PROPOSED EDGES OF BITUMINOUS PAVEMENT, AND RADII INDICATED FOR PAVEMENT MARKINGS.
- SIGNS AND PAVEMENT MARKINGS SHALL COMPLY WITH PENNDOT PUBLICATION 408, SECTION 1103, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS AMENDED, AND THESE DRAWINGS SHALL BE USED TO GUIDE THE CONSTRUCTION OF



SHEET INDEX:

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN

FOR

HERSHEY GARDENS -

ROSE GARDEN PAVILION

THE M.S. HERSHEY FOUNDATION

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SCALE
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DRAWN BY
HAB
DATE
APRIL 4, 2025
K&W PROJECT:
2164.002

DRAWING NO.

C-103

DRAWING NAME

SITE LAYOUT PLAN