

Dauphin County Subdivision/Land Development Review Report

Municipality	City of Harrisburg		Surveyor	Act One Associates		Engineer	Christian B. Cobaugh PE		
Plat Title	Capital Heights Redevelopment (Phase 3) Midtown Development LLC								
Zoning District	RM – Residential Medium Density District			Proposed Land Use	Single Family Multi Family & Commercial Mixed Use				
Plat Status:	Preliminary	Plat Type:	Subdivision	Regulations:	County				
	Final		Land Development		x	Municipal			
x	P/F	X	Combined		x	Zoning			
	Minor				x	S&LD			
# of Lots	37	# of New Lots	11	# of New D.U.s	64	Acreage Subdivided/Developed	1.85	Total Acreage	1.85
Date Received	6/24/2024		Staff Review	7/10/2024		Official County Review	7/10/2024		
Reviewed by	GD		Checked by	Parcel No. 12-11-037 (and 36 others)					

Project Description: To redevelop long vacant lots to bring a mixture of housing and commercial usage.

- *When applicable, streets, sewer, water, storm drainage, and other infrastructure elements to be verified as adequate by municipal staff/engineer. Any improvement guarantees shall be posted prior to final plat approval.*
- *Registered PA Land Surveyor is required to certify all lot/tract boundary descriptions.*
- *When applicable, zoning compliance to be verified by Municipal Zoning Officer.*
- *Appropriate sewage module component should be processed prior to final plat approval.*
- *Final plats must be recorded within 90 days of approval.*

Review comment with cited ordinance provisions are based on municipal regulations on file with the County Planning Commission.

1. The Dauphin County Planning Commission staff has reviewed this plan at the request of the Harrisburg City Planning Department, as a requirement of State Code. The review is based on the current Subdivision & Land Development Ordinance, Chapter 7-5. According to the Pennsylvania Municipal Planning Code definition, the proposed development does qualify as a Subdivision/Land Development and was reviewed against those City requirements. The review recognizes the type of development being proposed but given no other options, the review was performed against the current ordinance. In an effort to reduce the duplication of producing the review comments, the staff has highlighted, on the City's own checklist, the development requirements missing and most pertinent to this review and attached that checklist to this cover page.
2. In addition to that listed above, the Dauphin County signature line should have line each for the Commission's Chairman and Secretary.
3. It appears the north arrow shown on the plan is in error.



City of Harrisburg Subdivision and/or Land Development Checklist

Please use this checklist as a guide for submitting a Subdivision and/or Land Development Plan application. The content of this checklist is drawn from Chapter 7-501 of the Subdivision and Land Development Ordinance and will be used by City and County Planning Staff to evaluate your plans; however, it should not be used as a replacement for, or in lieu of the SALD Code. Applicants are encouraged to refer to the Code when preparing plans.

DRAFTING STANDARDS

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
1	☒	☐	☐	505.3(d)	Twenty-three (23) total copies of the plans shall be submitted with the application. Four (4) sets shall measure 24" x 36" (required by Dauphin County Recorder of Deeds), and nineteen (19) sets shall measure 11" by 17" or half sheet size .
2	☒	☐	☐	505.3(b)	Dimensions shall be in feet and decimals; bearings shall be in degrees, minutes and seconds. Lot line descriptions shall read in a clockwise direction.

All plans should include a cover sheet following the guidelines listed below.

COVER SHEET

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
3	☒	☐	☐	505.4(1)	Title of the project
4	☒	☐	☐	505.1(A&B) 505.4(3) 505.10(1)	Name, address, phone number of the owner of the tract, the developer/ subdivider, and the firm that prepared the plans
5	☒	☐	☐	505.4(4) 505.10(1)	File Number assigned by the firm, the plan date, and the date(s) of all revisions.
6	☒	☐	☐	505.4(7) 505.10(1)	The total acreage of the tract or project
7	☒	☐	☐	505.4(8) 505.10(1)	The district, setbacks, lot size, and/or density requirements of the City's Zoning Ordinance
8	☒	☐	☐	505.1(c)	A location map, relating the project area to its location in the city
9	☒	☐	☐	505.6(12) 505.10(8)(l)	A statement on the Plan indicating that all zoning approvals have been obtained
10	☒	☐	☐	505.6(13) 505.10(8)(m)	A statement on the Plan indicating any existing or proposed waivers have been granted by City Council
11	☒	☐	☐	505.10(8)(o)	A source of title to the land, as shown by book of the Dauphin County Recorder of Deeds (for Final Plans)
12	☒	☐	☐	505.7(e) 505.10(9) (f)(i)	Certification of the engineer, surveyor or landscape architect, to the effect that the plans are accurate (See Appendix No. 1 in the SD/LD Code)
13	☒	☐	☐	505.7(e) 505.10(9) (f)(iii)	Signature block as it will appear on the Final Plan (See Appendices No. 2 A to 2-C and No. 3 A to 3 B)

14	☒	☐	☐	505.10(9) (f)(iv)	Notation space to accommodate the Dauphin County Recorder of Deeds information (including Plan Book, Volume and Page)
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The preferred layout of the cover sheet is represented in Figure 1 (below):

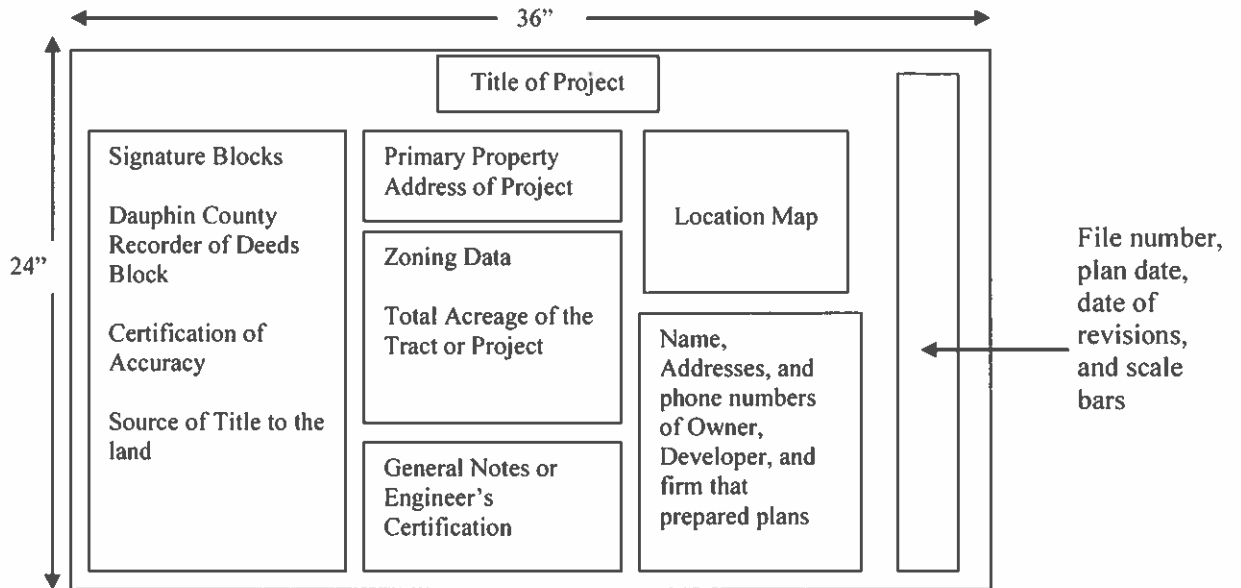


Figure 1

BASIC PLAN REQUIREMENTS

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
15	☒	☐	☐	505.9(1) 505.10 (11)(A)	Check or money order made out to "City Treasurer" in an amount specified on Subdivision/Land Development Fee Schedule
16	☒	☐	☐	505.9(2) 505.10 (11)(B)	Check made out to Dauphin County Planning Commission in an amount specified on Subdivision/Land Development Fee Schedule
17	☒	☐	☐	505.4(2)	Location of any municipal boundary line (if applicable)
18	☒	☐	☐	505.4(5)	A north arrow, a graphic scale, and a written scale
19	☒	☐	☐	505.4(6)	The entire existing tract boundary with bearings and distances
20	☒	☐	☐	505.4(7)	The total acreage of each tract involved with the project
21	☒	☐	☐	505.4(9)	The location of existing lot line markers along the perimeter of the existing tract
22	☒	☐	☐	505.4(10)	A location map, relating the project site to at least 2 intersections of street centerlines
23	☒	☐	☐	505.4(11)	Property address(es) as assigned by the City's Registrar of Real Estate
24	☒	☐	☐	505.5(1) 505.10(3)	Existing contours, at an interval of 2 feet for land with an average slope of four percent (4%) or less and at a minimum vertical interval of 5 feet for more steeply sloping land
25	☒	☐	☐	505.5(2) 505.10(4)	Names of all adjacent landowners and the names and plan book numbers of all recorded plans for adjacent projects
26	☒	☐	☐	505.10(5)	Location of historic structures, wetlands, unbuildable portions of the site, or other significant features

27	×	☐	☐	505.6(1) 505.10(8)(A)	Layout of streets, alleys, sidewalks, including cartway and rights-of-way widths. For Final Plans this shall include distances and bearings, with curve segments comprised of radius, tangent, arc, and chord
28	×	☐	☐	7-505.6(2) 505.10(8)(B)	Lot lines, with accurate bearings and distances and lot areas for all parcels
29	×	☐	☐	505.6(3) 505.10(8)(C)	Block and lot numbers in consecutive order
30	×	☐	☐	505.6(5) 505.10(8)(E)	Total number of lots, units of occupancy, density, and proposed land use
31	×	☐	☐	505.6(6) 505.10(8)(F)	Easements and rights-of-way
32	×	☐	☐	505.6(7) 505.10(8)(G)	Building setback lines with distances from front, rear, and side yard property lines
33	×	☐	☐	505.6(8) 505.10(8)(H)	Identification of buildings to be demolished
34	×	☐	☐	505.6(9) 505.10(8)(I)	Typical cross section of each street proposed or to be improved as part of the application. Cross section shall include entire right-of-way width
35	×	☐	☐	505.6(14) 505.10(8)(N)	Street names
36	×	☐	☐	505.10(8)(P)	Location and material of all permanent monuments and lot line markers, noting that all monuments and markers are set, or indicating when they will be set (for Final Plans)
37	×	☐	☐	505.10(8)(R)	Identification of any lands to be dedicated
38	☐	×	☐	505.7(c)(4) 505.10(9)(D)(iv) 507.7(1)(c)	Provide a Landscaping Plan <i>Landscaping Provided on Sheet CH-PX-0 including planting list. Confirm that meet Landscaping Requirements</i>

The following when located **within fifty feet of the site:**

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
39	×	☐	☐	505.5(3)(A) 505.10(6)(A)	Approximate location and name of existing rights-of-way and cartways for streets, access drives, and service streets
40	×	☐	☐	505.5(3)(B) 505.10(6)(B)	Sanitary sewer mains
41	×	☐	☐	505.5(3)(B) 505.10(6)(B)	Water supply mains
42	×	☐	☐	505.5(3)(B) 505.10(6)(B)	Fire hydrants
43	×	☐	☐	505.5(3)(D) 505.10(6)(C)	Storm water management facilities which effect storm water runoff on the site. Include the size, capacity, and condition of existing stormwater management system

The following when located **within the site:**

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
44	×	☐	☐	505.5(4)(A) 505.10(7)(A)	The location, name, and dimensions of existing rights-of-way and cartways for streets, access drives, driveways, and service streets
45	×	☐	☐	505.5(4)(A) 505.10(7)(B)	Sanitary sewer mains
46	×	☐	☐	505.5(4)(A)	Water supply mains

				505.10(7)(B)	
47	X	☐	☐	505.5(4)(A) 505.10(7)(B)	Fire hydrants
48	X	☐	☐	505.5(4)(A) 505.10(7)(B)	Buildings
49	X	☐	☐	505.5(4)(D) 505.10(7)(B)	Stormwater management facilities
50	X	☐	☐	505.5(4)(C) 505.10(7)(C)	The location of existing rights-of-way for electric, gas, and oil transmission lines and railroads
51	X	☐	☐	505.5(4)(D) 505.10(7)(D)	The size, capacity, and condition of the existing stormwater management system

Certificates and Notifications

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
52	☐ N/A	☐	☐	505.7(b) 505.10(9)(B)	Correspondence from the owner or lessee of any electric transmission lines, gas pipelines, or petroleum projects transmission lines, located within the tract, stating any conditions on the use of the land and the minimum building setback and/or right-of-way line
53	N/A	☐	☐	505.7(d) 505.10(9)(E)	Traffic Impact Study, if required by City Engineer
54	☐ SUBMITTED	☐	☐	505.10(9)(A)	Notification of approval from PA D.E.P. for any stormwater management facilities that effect an existing watercourse or have an upland drainage area greater than one-half mile; or that no approval is required
55	☐ N/A	☐	☐	505.10(9)(J)	For plans which require access to a State Highway, the inclusion of the following plan note: "A Highway Occupancy Permit is required pursuant to Section 420 of the Act of June 1, 1945 (P.L. 1242, No. 428), known as the "State Highway Law", before driveway access to a State Highway is permitted. Access to the State highway shall only be as authorized by a Highway Occupancy Permit, and City Council's/Planning Commission's approvals of this plan implies that such permit can be acquired."

Natural Features Preservation

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
56	X	☐	☐	507.7(1)(A)	Trees with a caliper of six inches (6") or more, measures at a height of 4-1/2 feet above grade, are to be retained, if not within proposed cartway, or sidewalk portion of street right-of-way, or within 15 feet of a proposed building
57	X	☐	☐	507.7(1)(B)	Where existing trees are removed along the street right-of-way, supplemental plantings required
58	☐ N/A	☐	☐	507.7(2)(A)	Maintenance easement provided along all stream, river banks, and lake edges. Minimum width of easement to be 25 feet
59	N/A	☐	☐	507.7(2)(B)	Water frontage to be preserved as open space whenever possible
60	N/A	☐	☐	507.7(2)(C)	Access to be provided to the water and to maintenance easement area. Width of access points to be minimum of 50 feet
61	X	☐	☐	507.7(3)	Existing terrain to be preserved when possible. Cut and fill to be kept to a minimum

ADDITIONAL SUBDIVISION AND LAND DEVELOPMENT REQUIREMENTS

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
62	X	☐	☐	505.7(f)	For Preliminary Plan calling for installation of improvements beyond two years, a schedule of the timing of the improvements
63	☐	☐	☐	505.10(9)(A)	Notification from PA D.E.P. that either approval of the Sewer Facility Plan Revision or Supplement has been granted or that such approval is not required (Plan Revision Modular for Land Development)
64	X	☐	☐	505.10(8)(D)	For Land Development Plans, the location and configuration of proposed buildings, parking compounds, streets, access drives, driveways, and all other significant planned facilities
65	X	☐	☐	505.10(8)(Q)	For Land Development Plans, a grading plan, which shall include finished grades and ground floor elevations (may be provided on separate sheets, need not be recorded)
66	☐	X	☐	505.10(9)(H)	Approval from the City Solicitor of the Improvement Construction Guarantee

Land Development Plans **must include** drawings of the proposed development showing:

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
67	☐	☐	☐	505.7(c)(4) 505.10(9)(D)(iv) 507.7(1)(c)	Landscape Plan showing treatment of private and common open space, the perimeter of the site, and elevation drawings highlighting the landscaping
68	X	☐	☐	505.7(c)(1) 505.10(9)(D)(i)	Elevation of all visible sides, including façade materials <i>* Not provided in DCPL Submittals</i>
69	X	☐	☐	505.7(c)(2) 505.10(9)(D)(ii)	Location and floor area of all existing and proposed buildings, structures, and other improvements, including height, types of units, and uses
70	X	☐	☐	505.7(c)(3) 505.10(9)(D)(iii)	Details of significant architectural features <i>* to be reviewed to ensure appropriate neighborhood materials utilized</i>
71	X	☐	☐	505.7(c)(5) 505.10(9)(D)(v)	Vehicular and Pedestrian Circulation Plan, including parking, service areas, waiting areas, and major access points
72	X	☐	☐	505.7(c)(6) 505.10(9)(D)(vi)	Lighting, screening, drainage, and dimensions of all off-street parking areas

Design of the Utility Plan, which shall include the size, material, and vertical and horizontal locations of sanitary sewer, storm sewer, and water mains:

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
73	X	☐	☐	505.10(8)(K)(i)	Include all calculations, assumptions, criteria, and references used in the design of stormwater management facilities, the establishment of existing facilities capacities, and the pre- and post-development discharge
74	X	☐	☐	505.10(8)(K)(ii)	All plans and profiles of the proposed stormwater management facilities
75	X	☐	☐	505.10(8)	For all basins, a plotting or tabulation of the storage

				(K)(iii)	volumes and discharge curves with corresponding water surface elevations, inflow hydrographs, and outflow hydrographs
76	X	☐	☐	505.10(8)(K)(iv)	Guidelines for lot grading within the subdivision, identifying the direction of stormwater runoff within each lot, and the areas where runoff will be concentrated (show using topographic data)
77	X	☐	☐	505.10(8)(K)(v)	Soil characteristics report and information on erosion and sediment control from the Dauphin County Soil and Water Conservation District

Block Layouts

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
78	X	☐	☐	507.4(b)	Blocks shall not exceed 750 feet and must be compatible with the City's existing grid system
79	X	☐	☐	507.4(c)	Residential blocks should be of sufficient depth to accommodate 2 tiers of lots

Lot Configurations

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
80	X	☐	☐	507.5(a)(1)	Size, depth, width, and orientation of lots shall conform to City zoning requirements
81	X	☐	☐	507.5(a)(2)	Side lot lines should be at right angles to straight street lines or radial to curved street lines, if practical
82	X	☐	☐	507.5(a)(3)	Where feasible lot lines should follow municipal boundaries rather than cross them
83	X	☐	☐	507.5(a)(4)	Remnants of land shall be incorporated into existing or proposed lots
84	X	☐	☐	507.5(b)(1)	All lots shall abut a street, existing or proposed
85	X	☐	☐	507.5(b)(2)	Double or reverse frontage lots shall be avoided
86	X	☐	☐	507.5(d)	Non-residential lots shall provide adequate space for yards, off-street loading and unloading, and parking

Building Design Guidelines

See earlier notes

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
87	X	☐	☐	507.6(1)	Compatibility with existing structures
88	X	☐	☐	507.6(2)	Design incorporates architectural details found on adjacent buildings
89	X	☐	☐	507.6(3)	Building materials reflect surrounding development

STREETS, ACCESS STREETS, AND DRIVES – ADDITIONAL REQUIREMENTS

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
90	N/A	☐	☐	505.6(9) 505.10(I)	Typical cross section of each street proposed or to be improved as part of the application. Cross section shall include entire right-of-way width
91	N/A	☐	☐	505.6(10)	Street centerline profile for each proposed street shown on the plan
92	N/A	☐	☐	505.6(1) 505.7(a)	Sketch of future street system, where Preliminary Plan covers only a part of the entire landholdings
93	N/A	☐	☐	505.10(9)(C)	Notice from postmaster that the proposed street names

					are acceptable															
94	N/A	☐	☐	505.10(9)(l)	Maintenance agreement for street which is not to be offered for dedication															
95	N/A	☐	☐	507.2(a)(5)	Street arrangement provides for continuation of streets in adjoining areas															
96	N/A	☐	☐	507.2(a)(5)	Provide for proper projection of streets where adjoining areas are not subdivided															
97	N/A	☐	☐	507.2(a)(5)	New streets carried to the boundaries of the tract to be subdivided															
98	N/A	☐	☐	507.2(a)(7)	Residential alleys are discouraged, unless site design calls for rear access parking; 22-foot minimum width if used															
99	N/A	☐	☐	507.2(a)(7)	Adequate alleys or off-street loading and unloading required in commercial or industrial areas															
100	N/A	☐	☐	507.2 (c)(1)	Cartways to be minimum of 11-foot travel lanes															
101	N/A	☐	☐	507.2(c)(3)	Minimum street rights-of-way and cartway widths will be: <table><tr><td><u>STREET TYPE</u></td><td><u>R.O.W. WIDTH</u></td><td><u>CARTWAY</u></td></tr><tr><td>Arterial</td><td>determined by governing body after consultation with PennDOT</td><td></td></tr><tr><td>Collector</td><td>60 feet</td><td>22 feet</td></tr><tr><td>Local</td><td>50 feet</td><td>22 feet</td></tr><tr><td>Alley/service drive</td><td>30 feet</td><td>22 feet</td></tr></table>	<u>STREET TYPE</u>	<u>R.O.W. WIDTH</u>	<u>CARTWAY</u>	Arterial	determined by governing body after consultation with PennDOT		Collector	60 feet	22 feet	Local	50 feet	22 feet	Alley/service drive	30 feet	22 feet
<u>STREET TYPE</u>	<u>R.O.W. WIDTH</u>	<u>CARTWAY</u>																		
Arterial	determined by governing body after consultation with PennDOT																			
Collector	60 feet	22 feet																		
Local	50 feet	22 feet																		
Alley/service drive	30 feet	22 feet																		
102	N/A	☐	☐	507.2(d)(3) 507.2(d)(5)	Permanent dead-end streets not longer than 500 feet and provided with a cul-de-sac, having minimum outside road diameter of 80 feet															
103	N/A	☐	☐	507.2(e)(3)	Tangents between curves according to Engineering specifications															
104	N/A	☐	☐	507.2(f)(1)	Centerlines of streets intersect as nearly to 90 degrees as possible, but not less than 75 degrees, or more than 105 degrees															
105	N/A	☐	☐	507.2(f)(2)	Intersections involving the junction of more than two streets are prohibited															
106	N/A	☐	☐	507.2(f)(3)	Street jogs with centerline off-sets of less than 125 feet avoided															
107	N/A	☐	☐	507.2(f)(5)	Intersections with major streets shall be located not less than 800 feet apart															
108	N/A	☐	☐	507.2(h)	Street grades in accordance with Engineering specifications															
109	N/A	☐	☐	505.6(14)	New street names shall not duplicate existing names															
110	N/A	☐	☐	507.2(j)(1)	Direct access from residential lots to arterials shall be avoided															
111	X	☐	☐	507.2(j)(2)	Driveways on corner lots shall be located 40 feet from the point of intersection of the nearest street right-of-way															
112	☐	☐	X	507.2(j)(3) (A)	Access roads/driveways shall be: no less than 24 feet in width for multi-family residential, and all non-residential development															
113	X	☐	☐	507.2(j)(3) (B)	Access roads/driveways shall be no less than 10 feet for single family residential subdivisions, and no greater than 20 feet at the street line															
114	N/A	☐	☐	507.2(j)(5) (A&B)	Grade on access road/driveway shall not exceed 8% on arterial and 10% on collector or minor street															

EASEMENT REQUIREMENTS

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
115	N/A	☐	☐	507.3(a)(1)	Minimum width shall be twenty (20) feet
116	N/A	☐	☐	507.3(a)(2)	When possible, easements shall be centered on the side

					or rear lot lines or along the front lot lines
117	N/A	☐	☐	507.3(b)	If subdivision is traversed by a water course or drainageway, an easement shall be provided conforming with the line of such water course or drainageway

CONDOMINIUM PROJECT REQUIREMENTS

	Provided	Not Provided	Waiver Requested	Ordinance	Standards
118	N/A	☐	☐	505.8(4)	Floor plans for all buildings
119	N/A	☐	☐	505.8(3)	Statement of proposed use for each unit and restrictions on use, if any
120	N/A	☐	☐	505.8(2)	Description of common elements, with allocation of the proportionate undivided interest expressed as a percentage assigned to each unit
121	N/A	☐	☐	505.8(1)	Statement of intent to submit the property to the provisions of the Unit Property Act, Act 117 of 1963, as amended (Preliminary Plan)
122	N/A	☐	☐	505.10(10)	Declaration, Declaration Plan and Code of Regulations required by the Unit Property Act, Act 117 of 1963 as amended (Final Plan - may be provided on a separate sheet)

General Comment: Is there affordable units being planned - to be reviewed if as consideration / appropriate for development by the city (or in this zoning district)

CAPITOL HEIGHTS REDEVELOPMENT (PHASE 3) MIDTOWN REDEVELOPMENT, LLC

GENERAL NOTES: PROVIDE GENERAL NOTES.....

Capitol Heights Parcels		
Block A	UPI#	New Bldg/Lot
	12-010-043	Clinton St Town Home
	12-010-014	Site 2 Mix Use 6 Apt
	12-010-159	
	12-010-013	
	12-010-012	
	12-010-040	Logan Town Home
	12-010-039	Logan Town Home
	12-010-136	Block A Parking Facility
	12-010-158	
	12-010-003	Site 3 6-Bdr Apt
Block B		
	12-011-136	Site 4 6 Apt Units
	12-011-137	
Block B	12-011-167	Site 5 12 Apt Units & Parking Facility
	12-011-168	
	12-011-166	
	12-011-165	
	12-011-164	
	12-011-163	
	12-011-162	
	12-011-161	
Block C		
	12-011-160	Site 6 12 Apt Units & Parking Facility
	12-011-159	
	12-011-158	
	12-011-157	
	12-011-156	
	12-011-155	
	12-011-154	
Block D		
	12-011-176	Site 7 16 Apt Units & Parking Facility
	12-011-177	
	12-011-178	
	12-011-179	
	12-011-180	
	12-011-181	
	12-011-182	Site 8 8 Apt Units & Parking Facility
	12-011-183	
	12-011-184	
	12-011-185	

Block B		
	12-011-136	Site 4 6 Apt Units
	12-011-137	
	12-010-003	Site 3 6-Bdr Apt

SITE DATA:

TOTAL EXISTING AND PROPOSED PARCEL AREA:
EXISTING USE: VACANT
PROPOSED USES(S): MULTI-FAMILY APARTMENT BUILDINGS, COMMERCIAL
SPACE AND PARKING: 64 RESIDENTIAL UNITS & 76 OFF-STREET PARKING SPACES

EXISTING NUMBER OF LOTS: 37
PROPOSED NUMBER OF LOTS: 13
EXISTING NUMBER OF DWELLING UNITS: 0
PROPOSED NUMBER OF DWELLING UNITS: 64
EXISTING / PROPOSED WATER SUPPLY: PUBLIC
EXISTING / PROPOSED SEWER SERVICE: PUBLIC

ZONING DATA:

RESIDENTIAL MEDIUM DENSITY (RM) PROPOSED
MINIMUM LOT AREA:
MAXIMUM HEIGHT (FT):
MAXIMUM UNIT DENSITY PER ACRE:
MAXIMUM LOT IMPERVIOUS COVERAGE (%):
FRONT YARD SETBACK (FT):
SIDE YARD SETBACK (FT):
REAR YARD SETBACK (FT):

ZONING VARIANCE(S) GRANTED:

Approval for Section 7-307.3A addressing (on-lot) residential unit density, (on-lot) excedence of maximum impervious lot coverage, (on-lot) setback encroachment, and excedence of building width based on the prevailing (building) width on associated block(s).
Approval for Section 7-307.11(c) and 7-307.12(c) to allow new development abutting a residential use and relief from the required 3-foot parking screen height (along property-line) between new parking lot uses and existing residential lots.

ZONING SPECIAL EXCEPTION(S) GRANTED:

Special Exception approval for "Multifamily Dwelling" uses, per Section 7-305.7 of the Zoning Code and relief from on-lot dedicated off-street parking requirements.

PARKING:

REQUIRED PARKING: 1 (OFF-STREET) SPACE PER RESIDENCE
INCLUDING 1 "VISITOR" SPACE FOR EVERY 5 RESIDENCE:
PARKING COUNT REQUIRED: 92 SPACES (76 + $\frac{16}{5}$)
PARKING PROVIDED: 95*

* Some "Off-street" parking spaces are provided on adjacent or other Lots within walking distance of the source lot.
Parking Spaces are minimum 9'x18' with 24' drive-aisle where required

SHEET LIST:		
• EXISTING/DEMOLITION PLANS: • LOT CONSOLIDATION PLANS: • PROPOSED LAYOUT PLANS: • GRADING & UTILITY PLANS: • EROSION & SEDIMENTATION PLANS: • EROSION & SEDIMENTATION NOTES: • EROSION & SEDIMENTATION DETAILS: • POST-CONSTRUCTION STORMWATER MANAGEMENT PLANS & DETAILS: • DETAIL PLANS:	CH-EX-(0,1,2,3,4,5)	6 PLANS
	CH-LC-(0,1,2,3,4,5)	6 PLANS
	CH-PR-(0,1,2,3,4,5)	6 PLANS
	CH-GU-(0,1,2,3,4,5)	6 PLANS
	CH-EC-(1,2,3,4,5)	5 PLANS
	CH-EC-6	1 PLAN
	CH-EC-7	1 PLAN
	CH-SW-(0,1,2,3,4,5)	6 PLANS
	CH-DT-(1,2,3,4,5,6,7)	7 PLANS
	TOTAL LAND DEVELOPMENT SET WITH COVER	44 PLANS

ACKNOWLEDGEMENT OF PLAN STATEMENT OF OWNERSHIP AND OFFER OF DEDICATION:

COMMONWEALTH OF PENNSYLVANIA, DAUPHIN COUNTY ON THIS
THE ____ DAY OF _____, 20____; BEFORE ME THE UNDERSIGNED PERSONALLY APPEARED.

OWNER: _____
HARRISBURG, REDEVELOPMENT AUTHORITY

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND NOTORIAL SEAL THE DAY AND THE DATE ABOVE WRITTEN:

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____.

IT IS HEREBY CERTIFIED THAT THE UNDERSIGNED AND THE OWNERS OF THE PROPERTY SHOWN ON THE PLAT.

ALL STORMWATER BMPs ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY CAPITOL REGION WATER.

OWNER _____
MIDTOWN REDEVELOPMENT, LLC

ACKNOWLEDGEMENT OF PLAN STATEMENT OF EQUITABLE OWNERSHIP AND OFFER OF DEDICATION:

COMMONWEALTH OF PENNSYLVANIA, DAUPHIN COUNTY ON THIS
THE ____ DAY OF _____, 20____; BEFORE ME THE UNDERSIGNED PERSONALLY APPEARED.

OWNER: _____
MIDTOWN REDEVELOPMENT, LLC

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND NOTORIAL SEAL THE DAY AND THE DATE ABOVE WRITTEN:

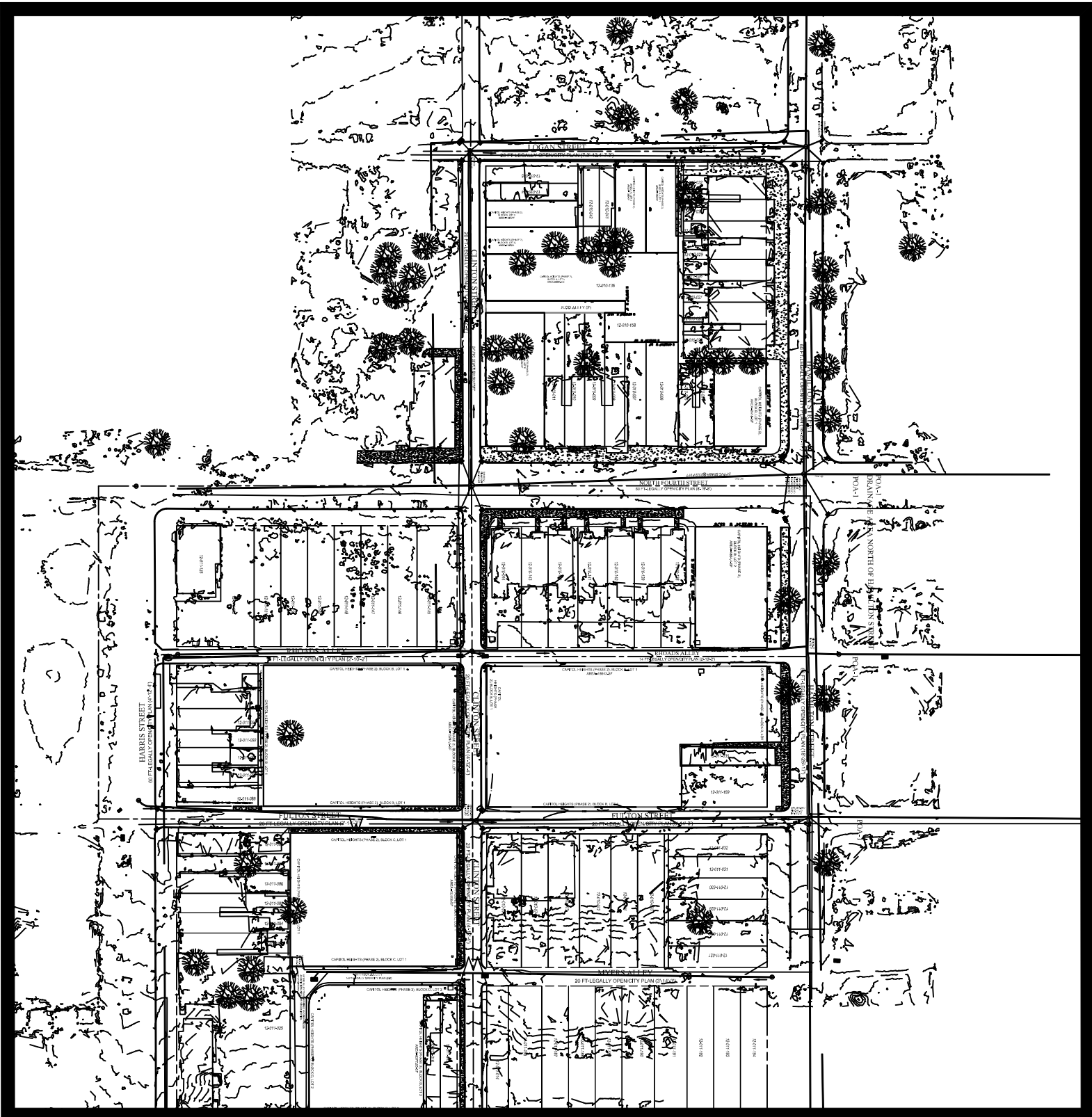
NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____.

IT IS HEREBY CERTIFIED THAT THE UNDERSIGNED AND THE OWNERS OF THE PROPERTY SHOWN ON THE PLAT.

ALL STORMWATER BMPs ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY CAPITOL REGION WATER.

OWNER _____
MIDTOWN REDEVELOPMENT, LLC



CBC SITE

Consulting Engineer
Christian B. Cobaugh, PE (Pa.
PE062327)
1 Glenn Terrace
Havertown PA, 19083
(cell / text) 610-220-1982
chris.cobaugh@gmail.com

UTILITY PROVIDERS:

WATER & SEWER: Capitol Region Water
TELECOMM: Verizon Pennsylvania LLC,
HARRISBURG CITY
ZAYO BANDWIDTH FORMERLY PPL TELECOM LLC
PPL ELECTRIC UTILITIES CORPORATION
COMCAST
USIC LOCATING SERVICES
UGI UTILITIES INC

REVIEW BY CITY OF HARRISBURG PLANNING COMMISSION:

SIGNATURE _____ DATE:

REVIEW BY CITY OF HARRISBURG ENGINEERING:

SIGNATURE _____ DATE:

THIS PLAN APPROVED BY COUNCIL OF THE CITY OF HARRISBURG
THIS DAY ____ OR 20 ____.

REVIEW BY DAUPHIN COUNTY PLANNING COMMISSION:

SIGNATURE _____ DATE:

RECORDING

THIS PLAN RECORDED IN THE OFFICE OF THE RECORDER
OF DEEDS AND FOR DAUPHIN COUNTY THIS ____ DAY
OF 20 __. PLAN BOOK _____, PAGE _____.
INSTRUMENT NUMBER _____

CAPITOL REDEVELOPMENT PHASE 3 Harrisburg, PA 17102 121 LOCUST ST. HARRISBURG, PA 17101 PROJECT:		Chris Bryce & David Long w/ Midtown Redevelopment, LLC PLAN MADE FOR:			
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DESIGNED CBC					
DRAWN CBC					
CHECKED CBC/ML					
APPROVED CBC					
Christian B. Cobaugh, P.E.062327					
SHEET TITLE: CAPITOL HEIGHTS COVER			SHEET NO.		
SCALE:					
PROJ. No.: CAPHTS - 01					
DATE: 01/01/2024					

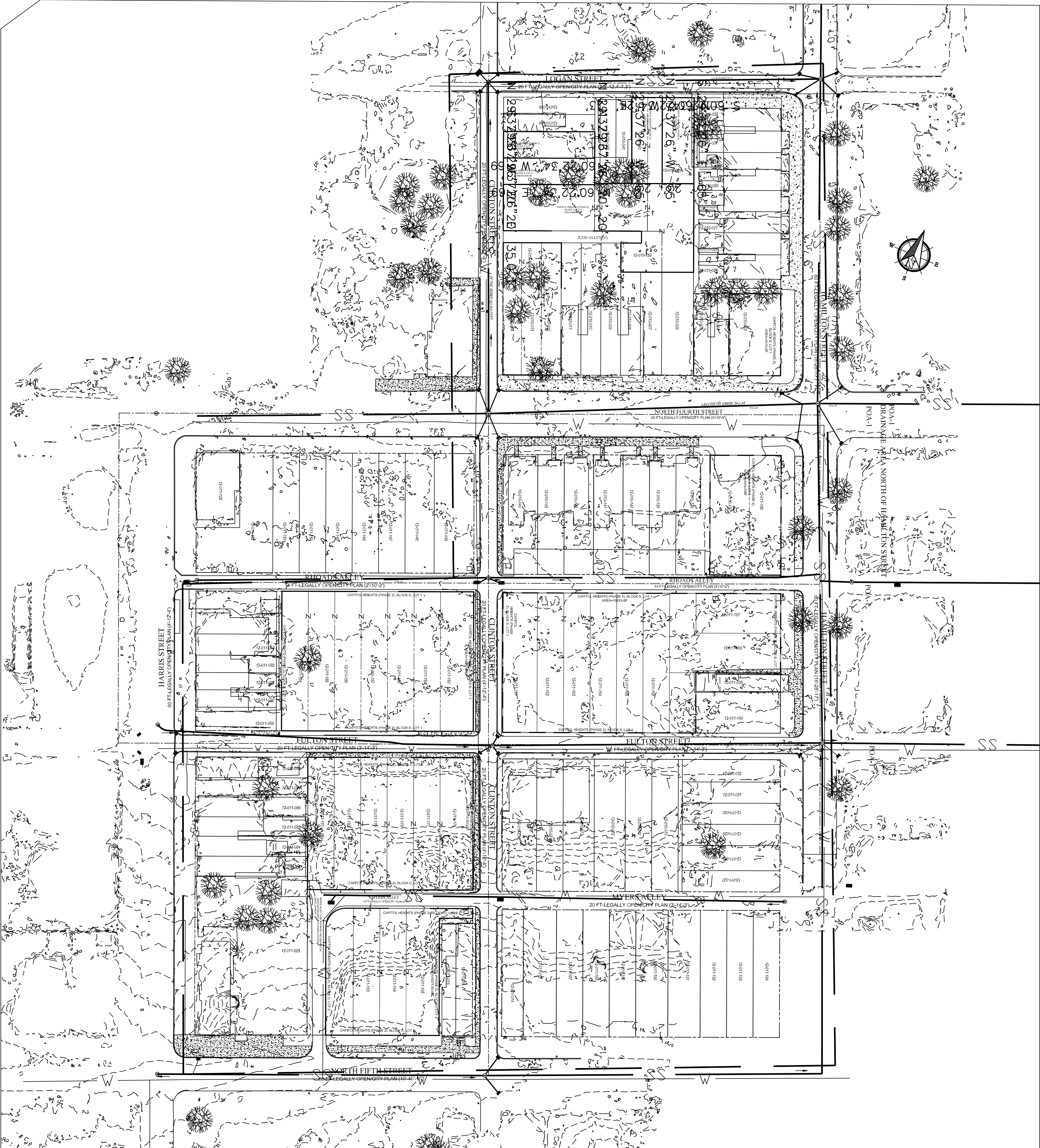
SERIAL NO. 2023XXXXXXX

PENNSYLVANIA ONE CALL

PURSUANT TO THE ACTS 207, 172, 38 AND ALL OTHER APPLICABLE
AMENDMENTS ASH ASSOCIATES, INC., DOES NOT GUARANTEE THE
ACCURACY OF THE LOCATIONS FOR EXISTING SUBSURFACE UTILITY
LINES, STRUCTURES, ETS., SHOWN ON THE PLAN.

THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATIONS OF
ALL SUBSURFACE STRUCTURES, UTILITY LINES, ETS., BEFORE THE
START OF WORK.

TELEPHONE: (800) 242-1776



BLOCK: A-D

.\LOCMAP1.gif

CBC SITE
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1 Glenn Terrace
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chris.cobaugh@gmail.com

CAPITOL REDEVELOPMENT PHASE 3
Harrisburg, PA 17102
121 LOCUST ST.
HARRISBURG, PA 17101

**Chris Bryce & David Long w/
Midtown Redevelopment, LLC**

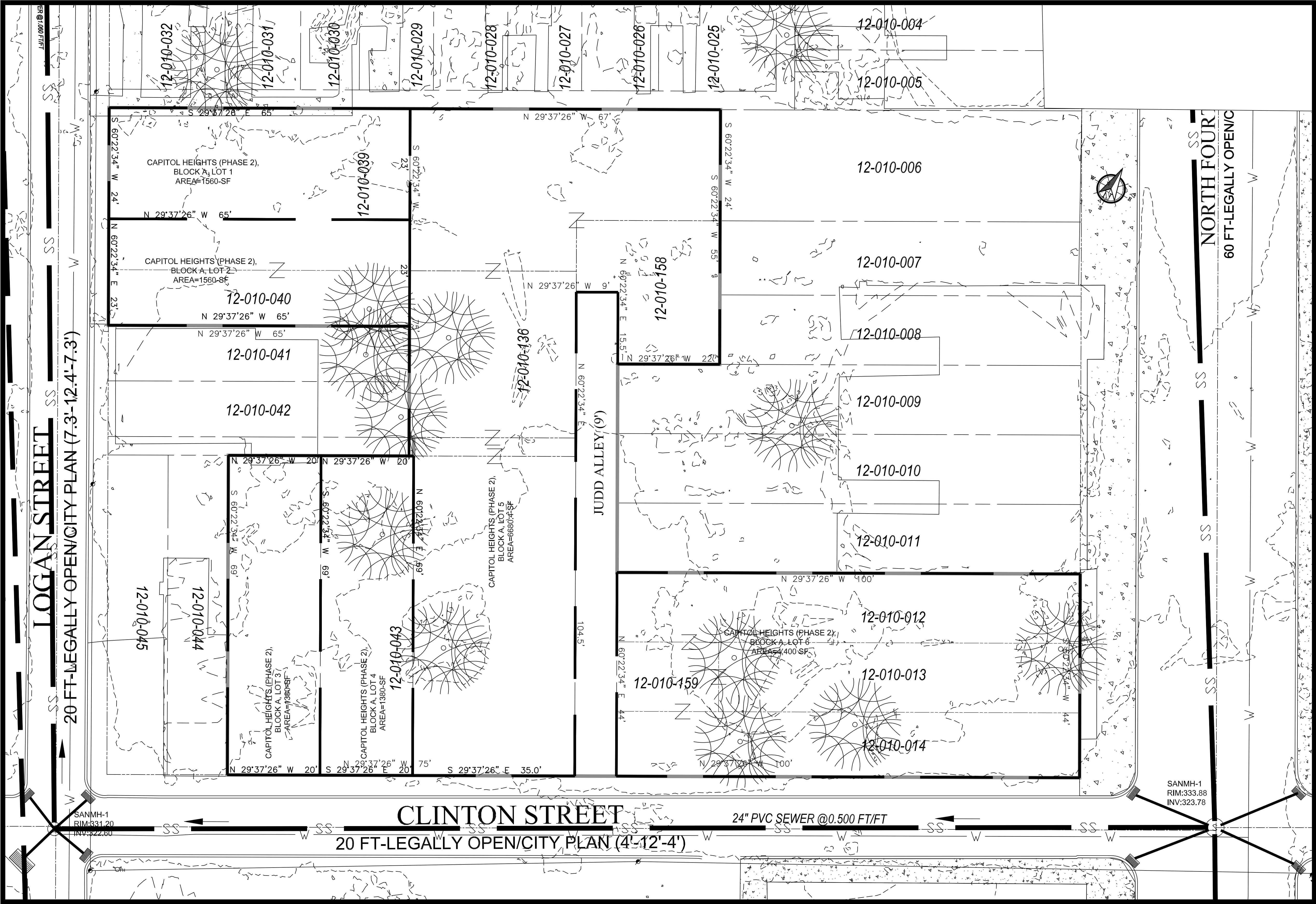
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SHEET TITLE:
**EXISTING
PROJECT PLAN**

SCALE: 1"=50'
PROJ. No.: CAPHTS - 01
DATE: 01/01/2024

SHEET NO.
**CH-
EX-0**



BLOCK-A

CBC SITE
Consulting Engineer
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1 Glenn Terrace
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chris.cobaugh@gmail.com

CAPITOL REDEVELOPMENT PHASE 3
Harrisburg, PA 17102
121 LOCUST ST.
HARRISBURG, PA 17101

**Chris Bryce & David Long w/
Midtown Redevelopment, LLC**

PROJECT:

PLAN MADE FOR:

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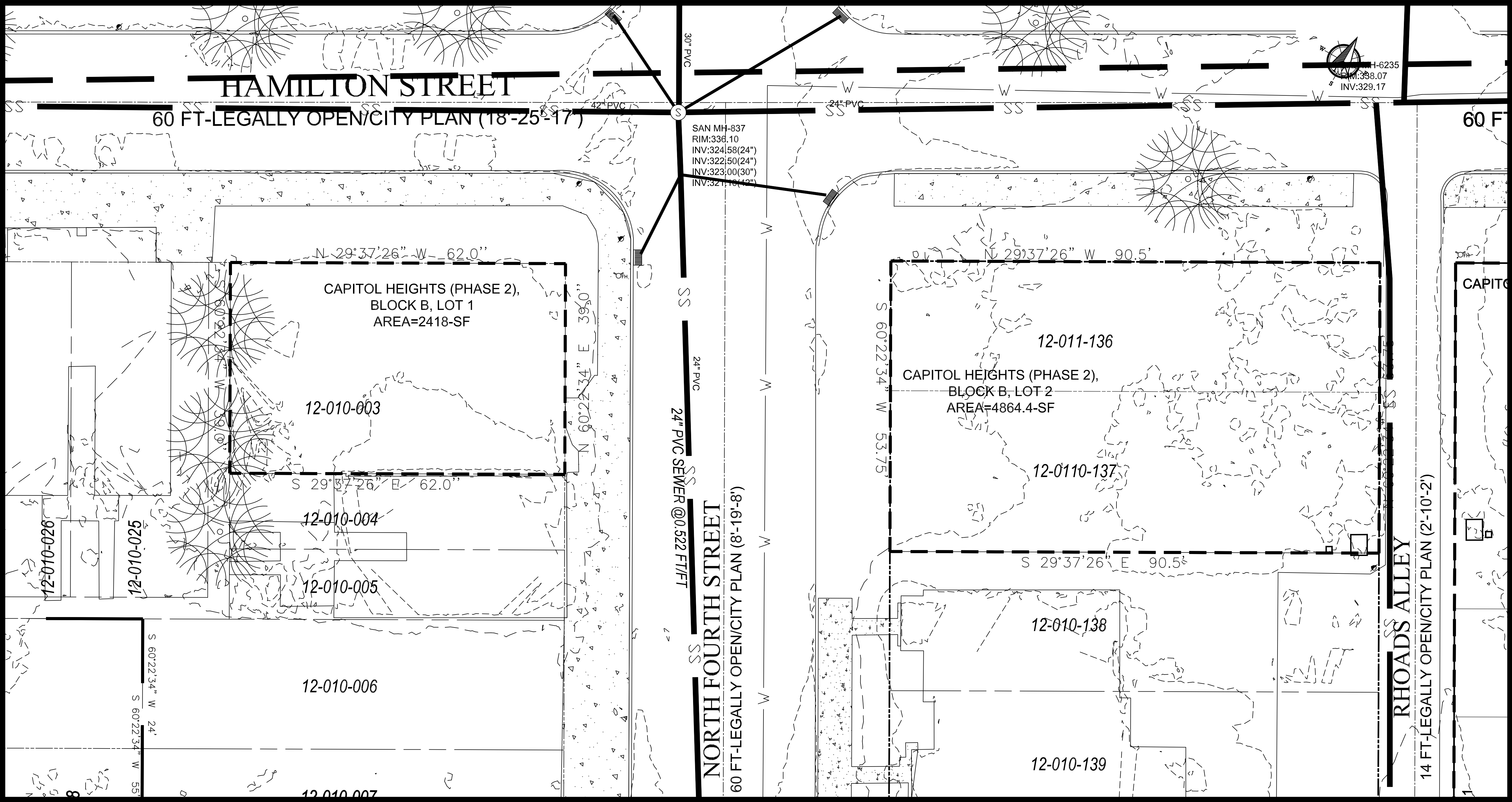
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APPROVED	CBC	
Christian B. Cobaugh, P.E.062327		

SHEET TITLE:

CH-EX-1

SCALE:
PROJ. No.: CAPHTS - 01
DATE: 01/01/2024

SHEET NO.



BLOCK-A&B

CBC SITE
Consulting Engineer
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1 Glenn Terrace
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chris.cobaugh@gmail.com

CAPITOL REDEVELOPMENT PHASE 3
Harrisburg, PA 17102
121 LOCUST ST.
HARRISBURG, PA 17101

PROJECT:

PLAN MADE FOR:
Chris Bryce & David Long w/
Midtown Redevelopment, LLC

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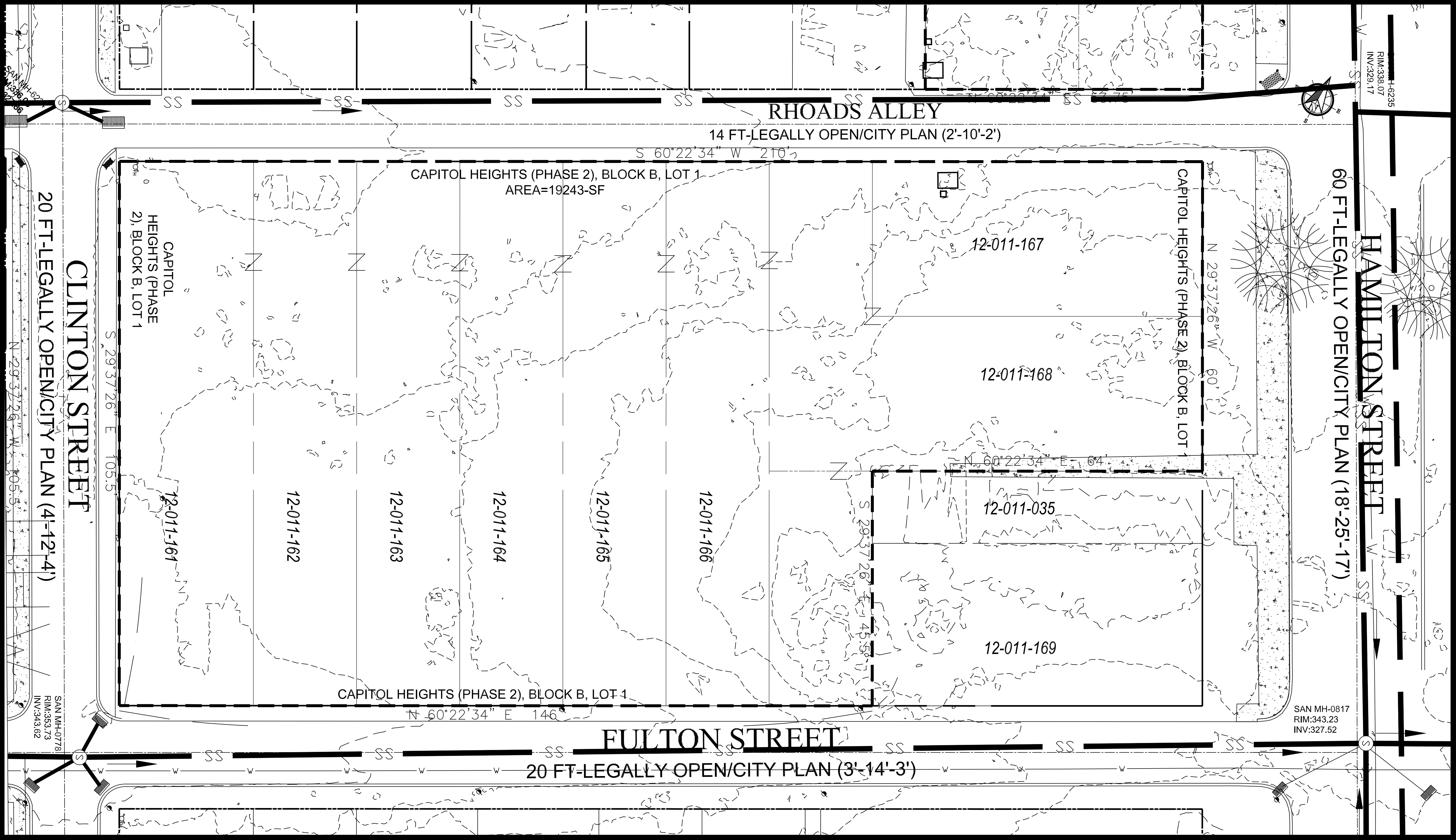
APPROVED
CBC

Christian B. Cobaugh, P.E.062327

SHEET TITLE:
CH-EX-2

SCALE:
PROJ. No.: CAPHTS - 01
DATE: 01/01/2024

SHEET NO.



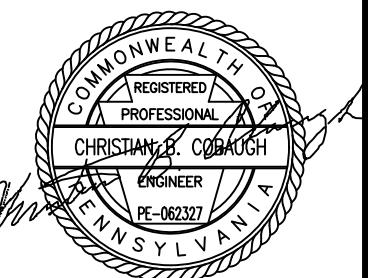
BLOCK-C

CBC SITE
Consulting Engineer
Christian B. Cobaugh, PE (Pa.
PE062327)
1 Glenn Terrace
Havertown PA, 19083
(cell / text) 610-220-1982
chris.cobaugh@gmail.com

CAPITOL REDEVELOPMENT PHASE 3
Harrisburg, PA 17102
121 LOCUST ST.
HARRISBURG, PA 17101
PROJECT:
Chris Bryce & David Long w/
Midtown Redevelopment, LLC
PLAN MADE FOR:

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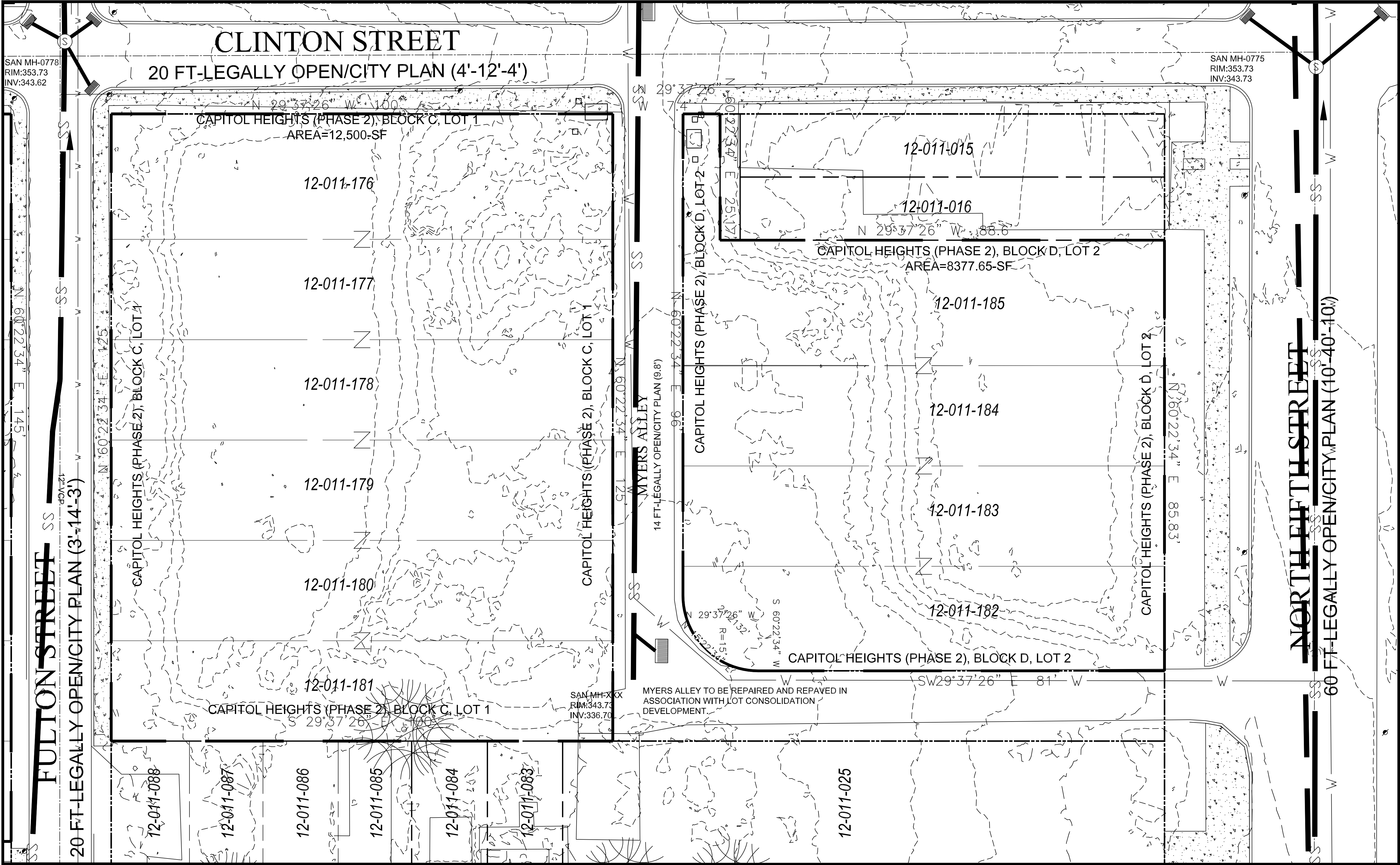
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CHECKED
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APPROVED
CBC
Christian B. Cobaugh, P.E.062327



SHEET TITLE:
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SCALE:
PROJ. No.: CAPHTS - 01
DATE: 01/01/2024
SHEET NO.



SCALE:	SHEET NO.
PROJ. No.: CAPHTS - 01	
DATE: 01/01/2024	



BLOCK-E

CBC SITE
Consulting Engineer
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PE062327)
1 Glenn Terrace
Havertown PA, 19083
(cell / text) 610-220-1982
chris.cobaugh@gmail.com

CAPITOL REDEVELOPMENT PHASE 3
Harrisburg, PA 17102
121 LOCUST ST.
HARRISBURG, PA 17101

PROJECT:

Chris Bryce & David Long w/
Midtown Redevelopment, LLC

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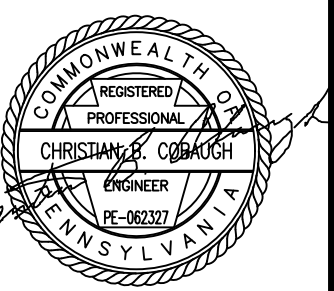
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CHECKED
CBC/ML

APPROVED
CBC

Christian B. Cobaugh, P.E.062327



SHEET TITLE:
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SCALE:
PROJ. No.: CAPHTS - 01
DATE: 01/01/2024

SHEET NO.



CBC SITE
Consulting Engineer
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PE062327)
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CAPITOL REDEVELOPMENT PHASE 3

Harrisburg, PA 17102
121 LOCUST ST.
HARRISBURG, PA 17101

PROJECT:

Chris Bryce & David Long w/
Midtown Redevelopment, LLC

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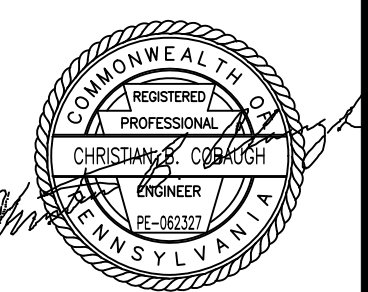
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CHECKED
CBC/ML

APPROVED
CBC



SHEET TITLE:

**LOT
CONSOLIDATION**

SCALE: 1"=50'

PROJ. No.: CAPHTS - 01

DATE: 01/01/2024

SHEET No.

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EX-0

